
INVITATION FOR BIDS (IFB)



Stark Residence Hall Building Renovations
IFB No. 2021-STARK008

Prepared By:
Mike Jenkins
Executive Vice President
Kilgore College
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Kilgore, TX 75662

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<https://www.kilgore.edu/about/offices/procurement-services>

INVITATION FOR BIDS IFB#2021-STARK008
Kilgore College

Procurement Services
1100 Broadway, Kilgore, Texas 75662
Phone: 903-983-8105

Project Description: Kilgore College is accepting competitive bids in response to this Invitation for Bids #2021-STARK008.

The following timeline has been established to ensure that our project objective is achieved; however, the following project timeline shall be subject to change when deemed necessary by Owner.

MILESTONE	DATE
Posted/Published	July 24, 2022
Open for Bidding	August 10, 2022
Pre-Bid meeting/tour	August 3, 2022, 10:00 a.m.
Questions Deadline	August 12, 2022, 2:00 p.m.
Close to Bidding	August 23, 2022, 2:00 p.m.
Reading of Bids Received	August 23, 2022, 3:30 p.m.
Anticipated Contractor Selection Date	September 26, 2022
Contract Start Date	TBD

COMPETITIVE BIDDING

- A. Bids for the Stark Residence Hall Building Renovations project will be received until:
 - 1. Bidding Close Date: Tuesday, August 23, 2022
 - 2. Bidding Close Time: 2:00 p.m. CST
- B. Mailing Location:
Kilgore College Procurement Services
Attn: Betsy Hansard
1100 Broadway
Kilgore, Texas 75662
- C. Physical Location:
Kilgore College Receiving Building
Attn: Betsy Hansard
108 Choice Street
Kilgore, Texas 75662

One original and five (5) copies of the bid response, to include all requisite documents included herein, must be submitted in a sealed envelope(s) (box or container) to the address listed above and clearly identify the submittal deadline, the IFB number, and name and return address of the bidder. Documents received after the deadline indicated herein will not be considered. The College reserves the right to accept or reject any informality, or cancel this IFB for any reason at any time. The College will not accept bids that are delivered by telephone, facsimile (fax), or electronic mail (e- mail). Selected vendor will be required to submit Form 1295 through the Texas Ethics Commission (TEC).

Bid review coordination will be managed by Johnson & Pace, Inc.

D. Project Identification and Location: Stark Residence Hall Building, 607 Elder Street, Kilgore, TX 75662

E. Owner: Kilgore College, 1100 Broadway, Kilgore, TX 75662

F. Project Description: Work includes interior demolition and new finish-out of restrooms in existing 8-story building. Bidders must submit bids for the work detailed in Appendix A. Kilgore College desires work to begin no sooner than December 10, 2022, with a required completion date no later than August 23, 2023.

G. Project Alternatives: The following alternatives will be evaluated as potential expansions to the scope work, subject to projected costs and resource availability. The College reserves the right to choose any one alternative, any combination of listed alternatives, or to reject all alternatives.

1. Alternative 1 – Reglaze Windows
2. Alternative 2 – Paint Building Interior
3. Alternative 3 – Hallway Floors
4. Alternative 4 – Repair Stair Treads
5. Alternative 5 – Replace Hallway Lighting
6. Alternative 6 – New Ceiling Fans
7. Alternative 7 – Lobby Restroom Finishes

Detailed descriptions for the alternates listed above can be found on sheet G0.9 in Appendix A.

CONTRACT

Bids will be based on a lump sum contract and evaluation of selection criteria. Actual contract terms will be negotiated with the selected proposer to fit budget constraints and may not include all items of work listed herein.

CONTRACT DOCUMENTS

A. Scope of work expectations and construction documents are included in this IFB as Attachment A. There is the base renovation project with seven (7) alternative options. Any and/or all of the alternative options may or may not be selected for inclusion in this project.

B. Invitation for Bids advertisement and any issued addenda can be found on the Kilgore College Procurement Services website, <https://www.kilgore.edu/about/offices/procurement-services>.

SELECTION CRITERIA

A. All properly submitted bids will be reviewed, evaluated, and ranked by the Owner and Johnson & Pace, Inc. representatives based on the following weighted selection criteria:

1. The bidder's proposed cost for services - 45%
2. Qualifications and reputation of the bidder - 35%
3. The bidder's past relationship with the College and/or design team - 10%
4. Specific experience in the scope of the proposed project - 10%

B. Kilgore College will select the bid that offers the best value for the College based on the above-published selection criteria and on its ranking evaluation. By submitting a bid, the bidder acknowledges (1) acceptance of the proposal evaluation process, and (2) recognition that some subjective judgments must be made by Owner during this process. In determining best value for the College, the College is not

restricted to considering price alone, but may consider any other factors stated in the selection criteria that allows for the determination of the lowest responsible bidder. The Owner reserves the right to divide the project into multiple parts, to reject any and all bids and re-solicit, or to reject any and all bids and temporarily or permanently abandon the project. Owner makes no representations, written or oral, that it will enter into any form of agreement with any bidder to this solicitation and no such representation is intended or should be construed by the issuance of this solicitation. Acceptance of a bid for consideration does not waive this reservation of rights, nor does it imply any obligation by Owner.

BOARD OF TRUSTEES AWARD

A final determination of contractor selection and authorization for contract negotiations will be made by the Kilgore College Board of Trustees at a meeting currently scheduled for September 26, 2022. Kilgore College reserves the right to reject any and all bids and waive any and all information.

PROJECT MANAGEMENT

Kilgore College requires that a project manager, coordinator, or supervisor be assigned to the project to work with our Director of Environmental Safety, Construction and Facilities. The manager should be available to meet with College staff as needed. Please provide telephone and email contact information for person assigned. Kilgore College requires one (1) back-up to this person. Please provide telephone and email contact information.

MANDATORY PRE-BID CONFERENCE

A. August 3, 2022, at 10:00 a.m.; Stark Hall, 607 Elder Street, Kilgore, TX 75662.

B. There will be registration at the pre-proposal conference and guided tour of the site. The pre-bid conference will allow all proposers an opportunity to ask representatives relevant questions and clarify provisions of this project. Bids will be accepted from only those bidders recorded as attending this meeting. There will be no exceptions to this requirement.

Answers to questions at the pre-bid meeting will be available to all bidders on the College's website at: <https://www.kilgore.edu/about/offices/procurement-services>.

REQUESTS FOR INFORMATION

Further questions must be submitted as Requests for Information (RFI), by email to mjenkins@kilgore.edu, until the deadline for questions of Friday, August 12, 2022, by 2:00 p.m. Questions will be answered by the appropriate individual(s) within three (3) business days. RFI must be clearly written, concise and specific, generally addressing a single item or issue. Each email must be identified with a unique abbreviation of the sender's business name, and with a number unique and sequential to the sender. For instance, Walgreen General Contractors & Builders might send their fourth RFI identified as "WALGREEN #4", "WAL #4", or "WG #4" so long as the abbreviation is consistent during the bidding process.

ADDENDA

It is Bidder's responsibility to make sure they have obtained all addenda prior to submitting a bid. Addenda, if any, will be posted on Owner's website at <https://www.kilgore.edu/about/offices/procurement-services>. An Addenda Checklist form is included as Appendix C and must be completed and submitted with the bid.

TIME OF COMPLETION

Bidders shall begin the work upon receipt of the Notice to Proceed and shall complete the work within the contract time.

BIDDER QUALIFICATIONS

Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work.

CLARIFICATIONS AND INTERPRETATIONS

The College may, in its sole discretion, respond in writing to written inquiries concerning this RCB. Only those responses that are made by formal written Addenda will be binding on the College. Any verbal responses, written interpretations or clarifications other than Addenda to this RCB will be without legal effect. All Addenda issued by the College prior to the submittal deadline will be and are hereby incorporated as a part of this RCB for all purposes.

Bidders are required to acknowledge receipt of each Addendum as specified in this Section. The Bidder must acknowledge all Addenda by completing, signing and returning the Addenda Checklist (ref. APPENDIX C). The Addenda Checklist must accompany the Bidder's proposal. It is the Bidder's responsibility to make sure they have obtained all addenda. Addenda, if any, will be posted on the College's website at <https://www.kilgore.edu/about/offices/procurement-services>.

CONFIDENTIALITY OF DOCUMENTS

Kilgore College considers all information, documentation, and other materials requested to be submitted in response to this RCB to be of a non-confidential and/or nonproprietary nature and, therefore, shall be subject to public disclosure under Texas Public Records laws.

Any "proprietary, trade secret, or confidential commercial or financial" information must be clearly identified, in a separate sealed envelope, at the time of bid submission. The bidder will be required to fully defend, in all forums, Kilgore College's refusal to produce such information; otherwise, Kilgore College will make such information public.

NON-DISCRIMINATION CLAUSE

Bidders submitting qualifications/bids declare, promise, and warrant they have and will continue to comply fully with Title VI of the Civil Rights Act of 1964, as amended (42 U.S.C.A. §1985, et seq.), and related state laws in that there shall be no discrimination against any employee who is employed in the performance of this contract, or against any applicant for such employment, because of age, color, national origin, race, religion, creed, disability or sex.

PRICING AND PAYMENT DISBURSEMENTS/DRAW

A detailed list of any and all expected costs or expenses should be explained in the Cost Proposal.

KC will not recognize or accept any charges or fees to perform the Services that are not specifically stated in the pricing bid.

The bid submitted by bidders should include a schedule of disbursements/draws required. Invoices for each disbursement/draw must be submitted for payment.

GUARANTEE. SERVICES CONTRACTS AND WARRANTIES

The successful bidder will be required to guarantee under a Full-System Warranty that all work shall remain free of defects for one (1) full year after project completion. A Full-System Warranty should include labor, workmanship, and full cost of construction. Project specifications may require further system warranties.

Manufacturer’s warranties on all equipment and other architectural warranties shall be collected, bound and submitted to the Owner for their record and possible future use.

CONFLICT OF INTEREST CLAUSE

The parties hereto declare and affirm that no officer, member, or employee of the College, and no member of its governing body exercises any functions or responsibilities in the review or approval of the undertaking described in this Contract, or the performing of services pursuant to this Contract, shall participate in any decision relating to this Contract which affects his or her personal interest, or any corporation, partnership, or association in which he or she is directly or indirectly interested; nor shall any employee of the College, nor any member of its governing body, have any interest, direct or indirect, in this Contract or the proceeds thereof.

BREACH

Should the bidder breach, violate, or abrogate any term, condition, clause or provision of this agreement, the College shall notify the Company in writing that such an action has occurred. If satisfactory provision does not occur within ten (10) days from such written notice the College may, at its option, terminate this agreement and obtain an alternate provider to provide all required materials. This provision shall not preclude the pursuit of other remedies for breach of contract as allowed by law.

INSURANCE INFORMATION

- Bidder shall provide all insurance specified herein and shall maintain such insurance throughout the term of this Agreement.
- The insurance must be obtained from a company or companies acceptable to the Owner and licensed to transact business in the State of Texas, and have a minimum financial security rating by A.M. Best of “A-” or better, or the equivalent from any other rating system.
- The insurance specified herein is the minimum requirement. In the event bidder has or obtains insurance coverage in amounts in excess of those required herein, such additional insurance coverage shall also inure to the benefit of the Owner.
- Minimum insurance coverage to be provided by bidder:

TYPE OF COVERAGE	LIMITS OF LIABILITY
1) Worker's Compensation (part a)	Statutory
2) Employers liability	\$1,000,000 each occurrence
3) Commercial General Liability*	
(a) Bodily Injury	\$1,000,000 each person \$1,000,000 each occurrence
(b) Property Damage	\$1,000,000 each occurrence \$1,000,000 Aggregate
4) Comprehensive Vehicle Liability	
(a) Bodily Injury	\$1,000,000 each person \$1,000,000 each occurrence
(a) Property Damage	\$1,000,000 each occurrence

*The Kilgore Junior College District shall be named as an additional insured party on Bidder’s General Liability policy.

CERTIFICATE OF INSURANCE

The bidder shall furnish the College with a certificate(s) of insurance evidencing the coverages required in this section. Such certificate(s) shall specifically state that the insurance company or companies

underwriting these insurance coverages shall give the College at least thirty (30) days' written notice in the event of cancellation of, or material change in, any of the coverages. If the certificate(s) is shown to expire prior to completion of all the terms of this Contract, the bidder shall furnish a certificate(s) of insurance evidencing renewal of its coverage to the College.

The bidder shall require each and every subcontractor performing work under the contract to maintain the same coverages required of the bidder in this Section, and upon the request of the College, shall furnish the College with a certificate(s) of insurance evidencing the subcontractor's insurance coverages required in this section.

INDEMNIFICATION

To the fullest extent permitted by law, contractor will and does hereby agree to indemnify, protect, defend with counsel approved by kc, and hold harmless kc, and their respective affiliated enterprises, board of trustees, officers, directors, attorneys, employees, representatives and agents (collectively "indemnitees") from and against all damages, losses, liens, causes of action, suits, judgments, expenses, and other claims of any nature, kind, or description, including reasonable Attorneys' fees and costs incurred in investigating, defending or settling any of the foregoing (collectively "claims") by any person or entity, arising out of, caused by, or resulting from contractor's performance under or breach of this agreement and that are caused in whole or in part by any malpractice, negligent act, negligent omission or willful misconduct of contractor, anyone directly employed by contractor or anyone for whose acts contractor may be liable. The provisions of this section will not be construed to eliminate or reduce any other indemnification or right which any indemnitee has by law or equity.

FORCE MAJEURE

The performance of either party's obligations will be suspended to the extent and for the length of time that the party is prevented from performing due to acts of nature, fires, governmental actions, changes in the Service requirements which directly contribute to a delay, or other events beyond its reasonable control. In the event of any occurrence that a party considers to be the cause of a delay or failure of performance, the party affected shall promptly notify the other party.

ISRAEL

In accordance with the Texas Government Code, Proposer represents and verifies that it does not, and will not during the term of the contract, if awarded, boycott Israel and that Proposer is not identified by the Texas Comptroller as boycotting Israel. "Boycott" as used herein means refusing to deal with, terminating business activities with, or otherwise taking any action that is intended to penalize, inflict economic harm on, or limit commercial relations specifically with Israel, or with a person or entity doing business in Israel or in an Israeli-controlled territory, but does not include an action made for ordinary business purposes

EXECUTION OF OFFER

Bidder must complete, sign and return the attached Execution of Offer (Appendix C) as part of its bid. The Execution of Offer must be signed by a representative of bidder duly authorized to bind the bidder to its bid. Any bid received without a completed and signed Execution of Offer may be rejected by KC, in its sole discretion.

IFB Number 2021-STARK008

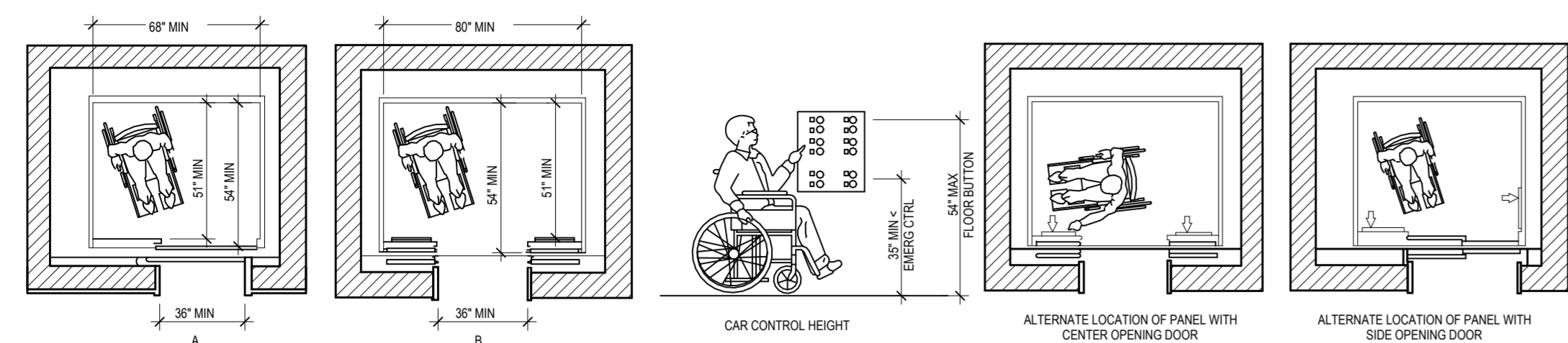
Kilgore College

Dr. Brenda Kays, President

APPENDIX A

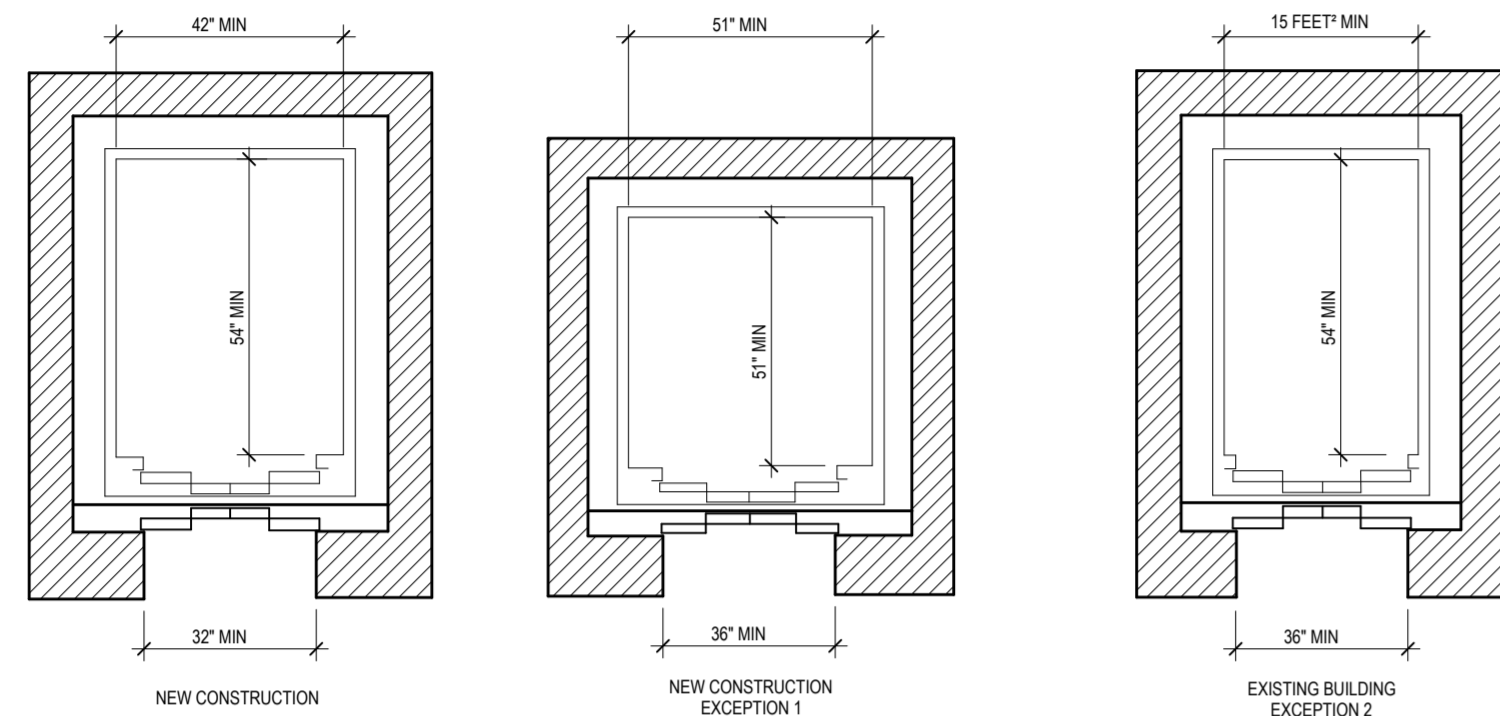
Appendix A consists of scope of work requirements/expectations and construction documents.

ELEVATOR CLEARANCES

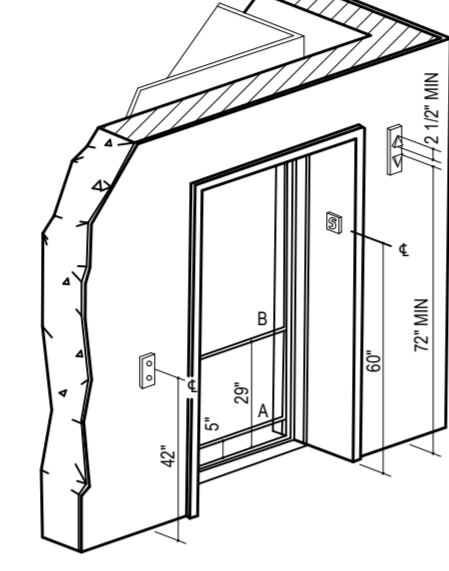


MINIMUM DIMENSIONS OF ELEVATION CARS

CAR CONTROLS

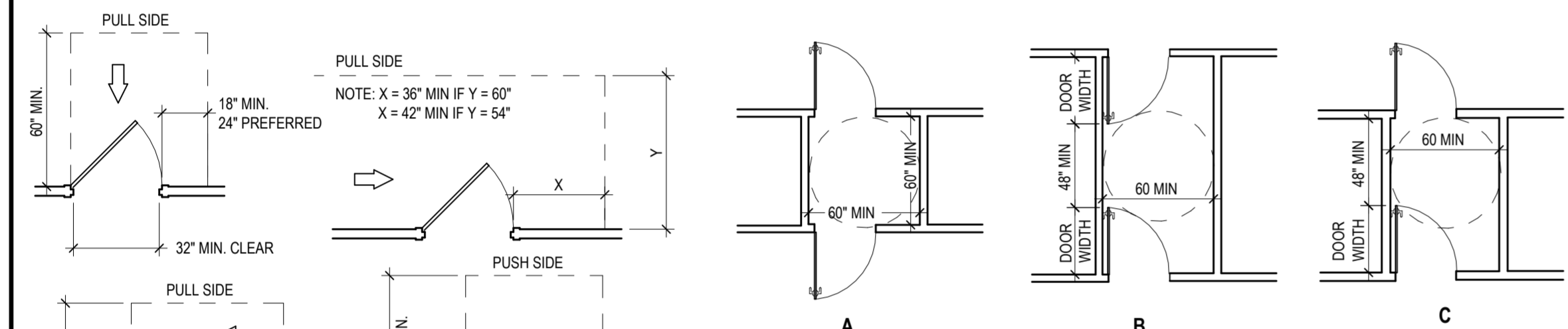


DIMENSIONS OF LIMITED USE/LIMITED APPLICATION (LULA) ELEVATOR CARS

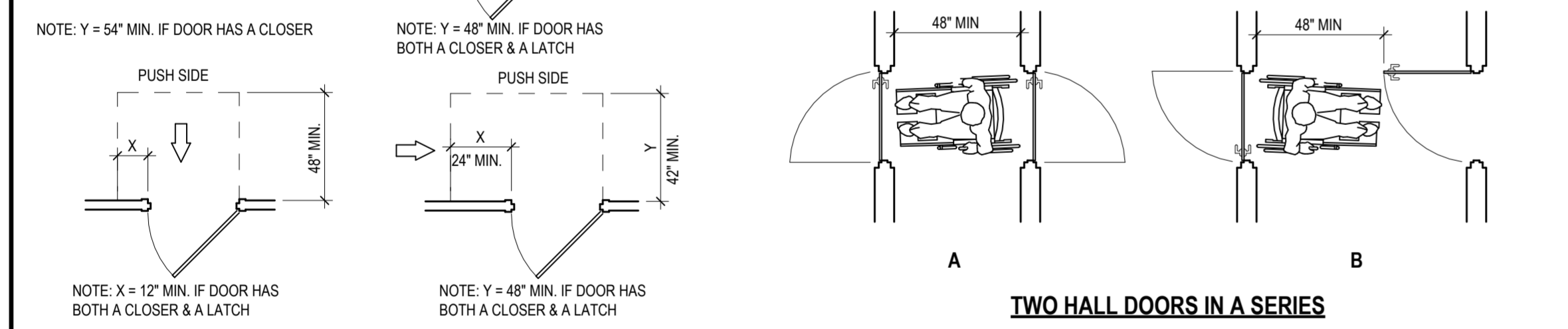


HOISTWAY AND ELEVATOR ENTRANCES

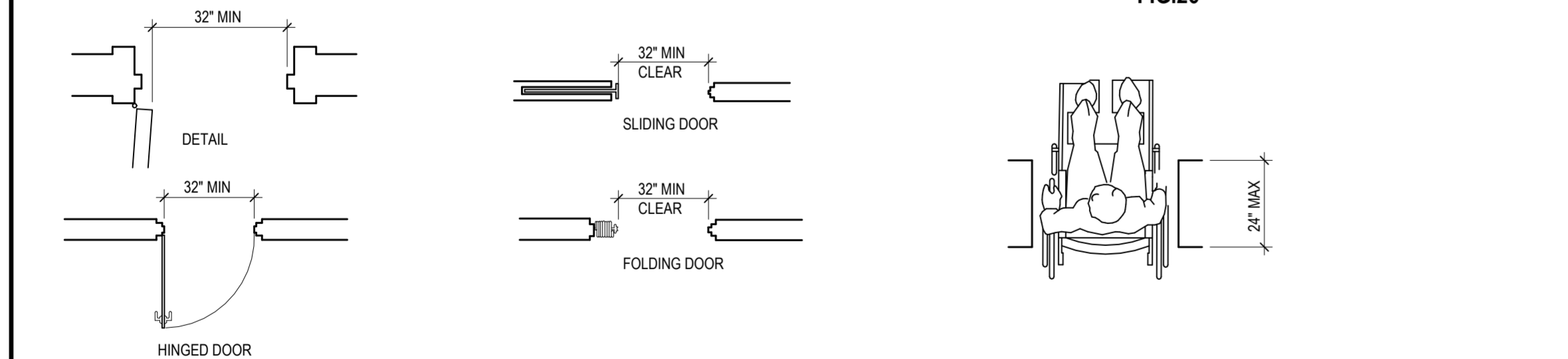
DOOR CLEARANCES



TWO ROOM DOORS IN A SERIES



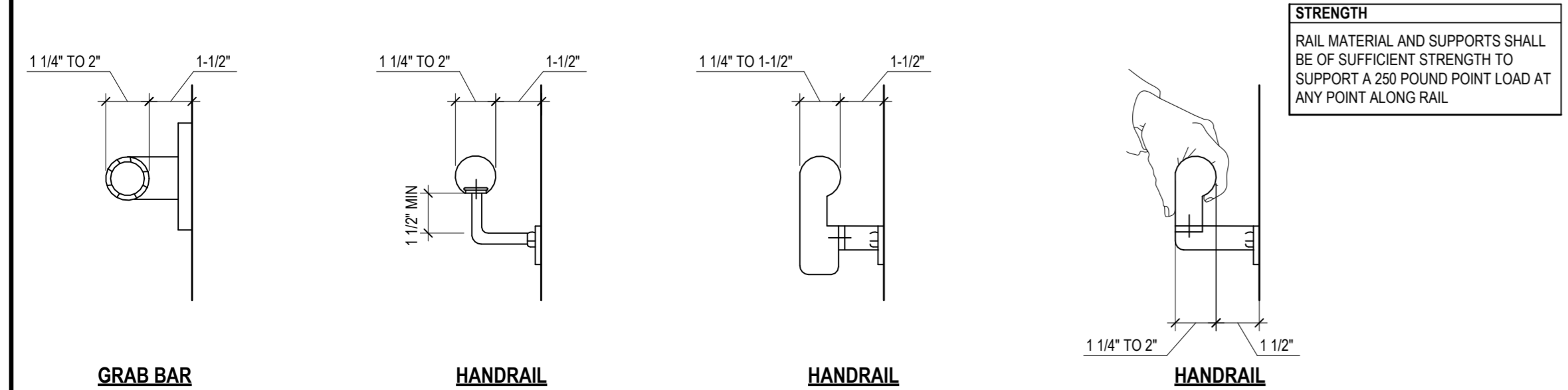
TWO HALL DOORS IN A SERIES
FIG.26



MAXIMUM DOOR WAY WIDTH

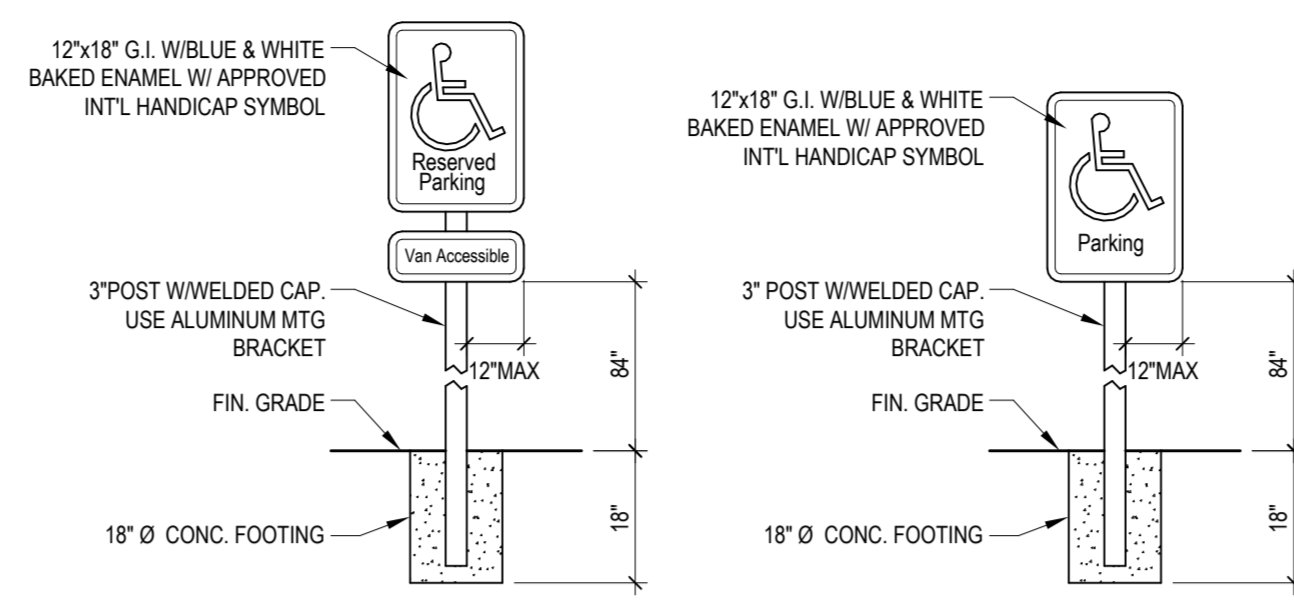
MAXIMUM DOOR WAY DEPTH

HANDRAILS / GRAB BARS

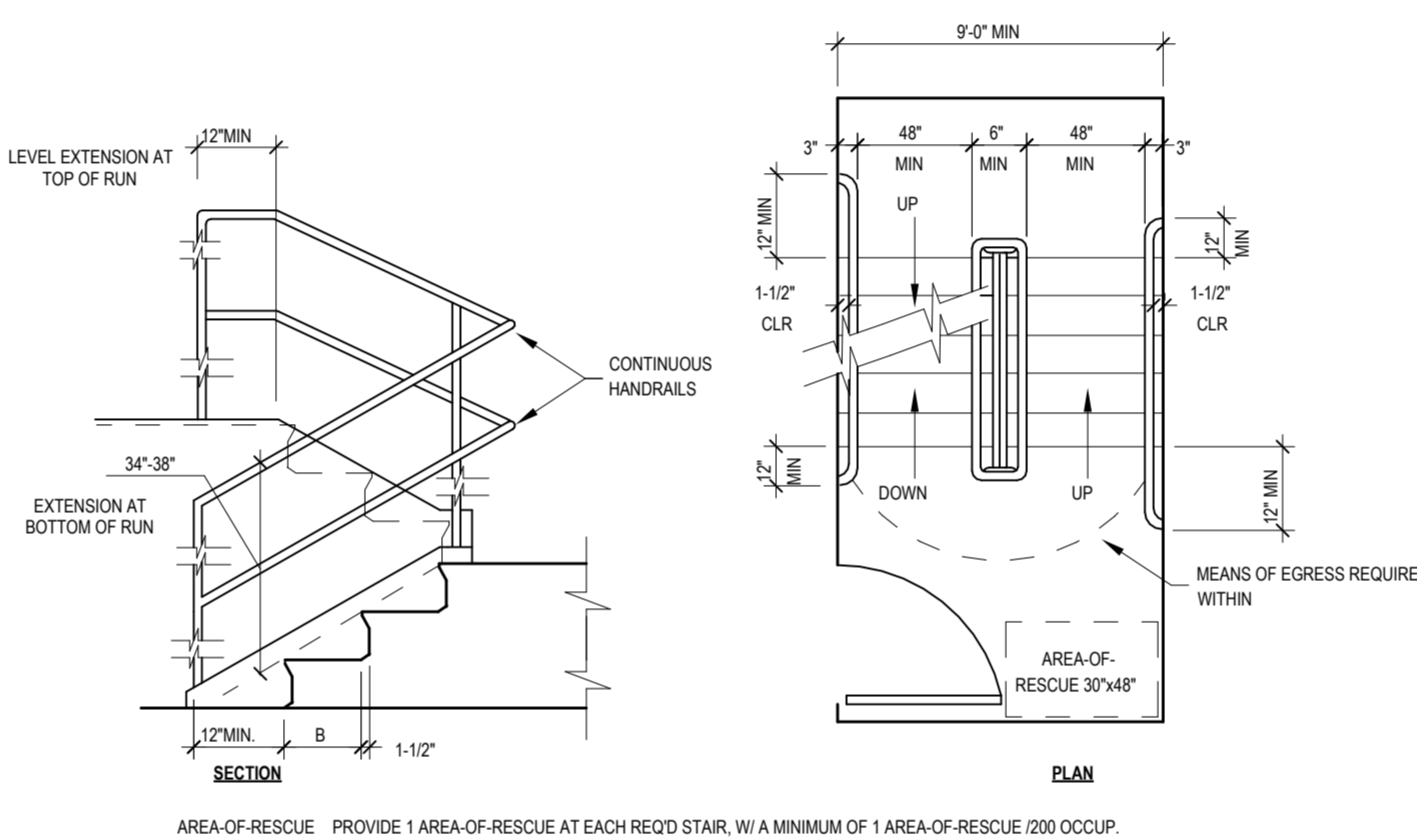
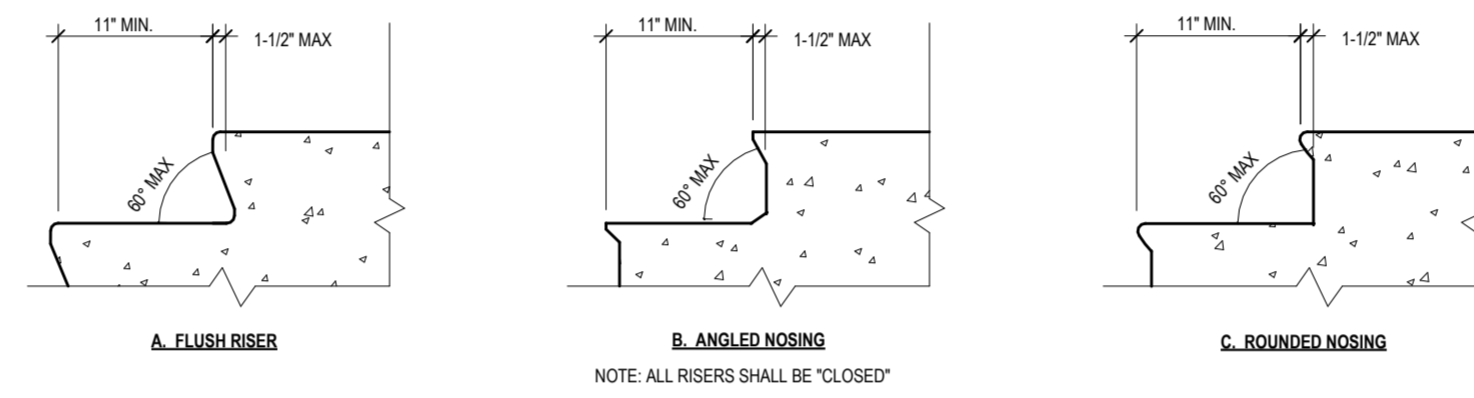


STRENGTH
RAIL MATERIAL AND SUPPORTS SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT A 250 POUND POINT LOAD AT ANY POINT ALONG RAIL

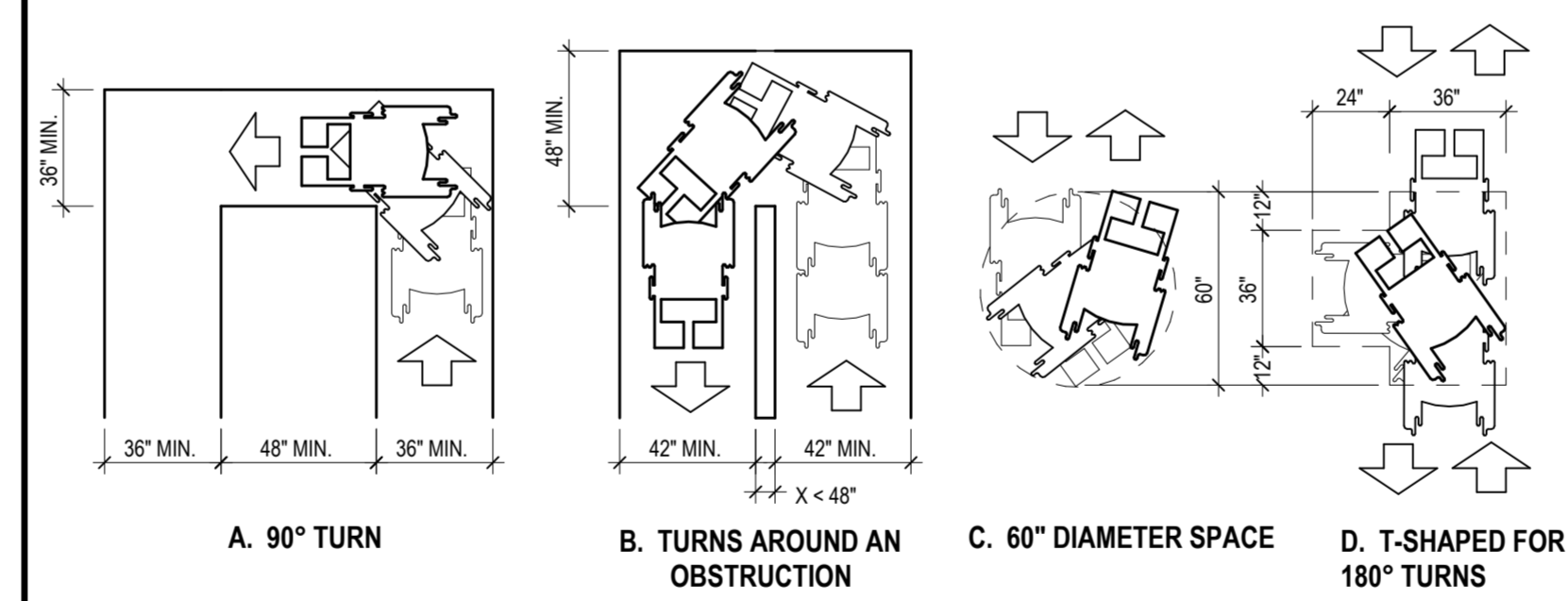
ACCESSIBLE PARKING SIGNAGE



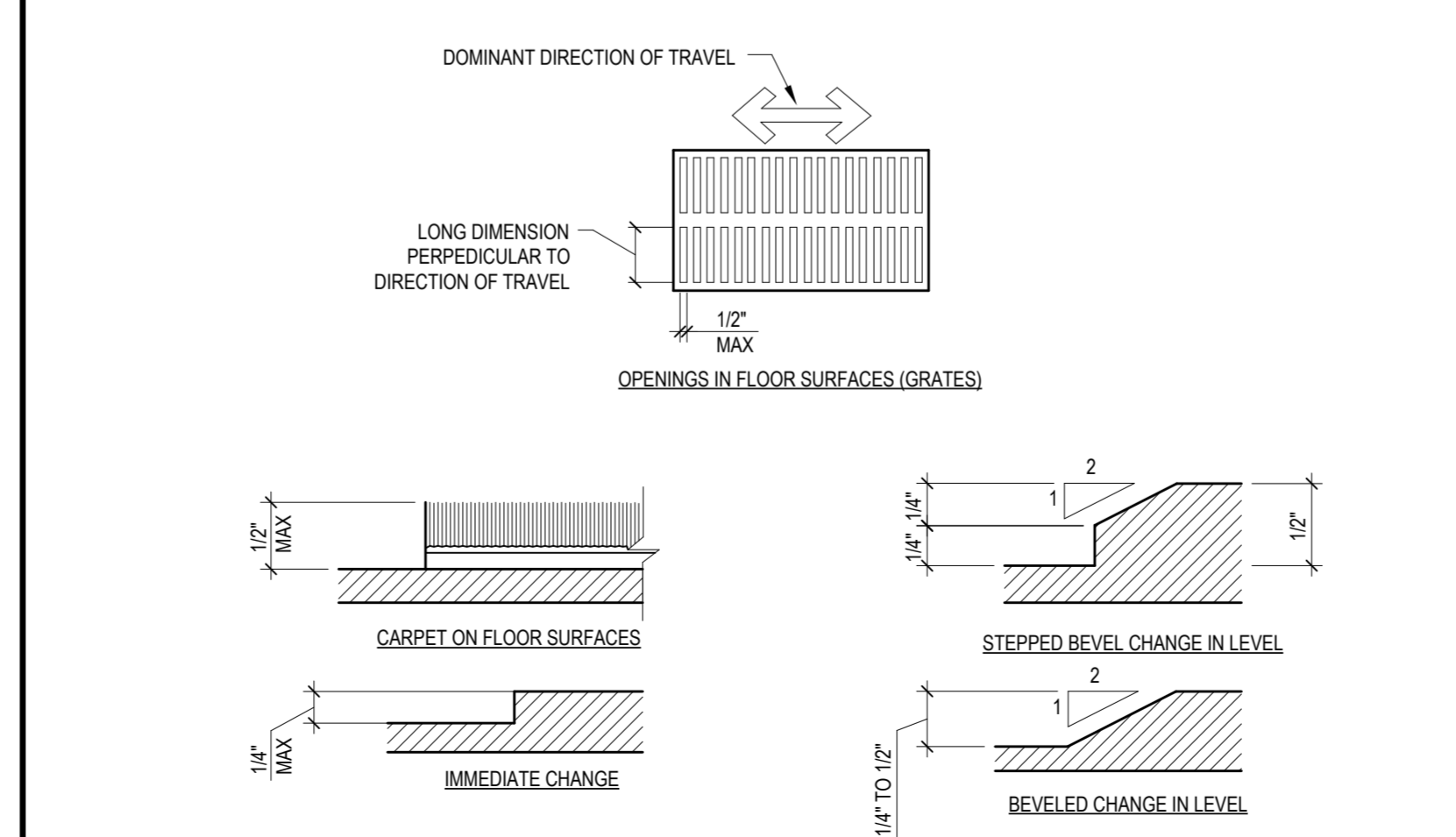
STAIR REQUIREMENTS



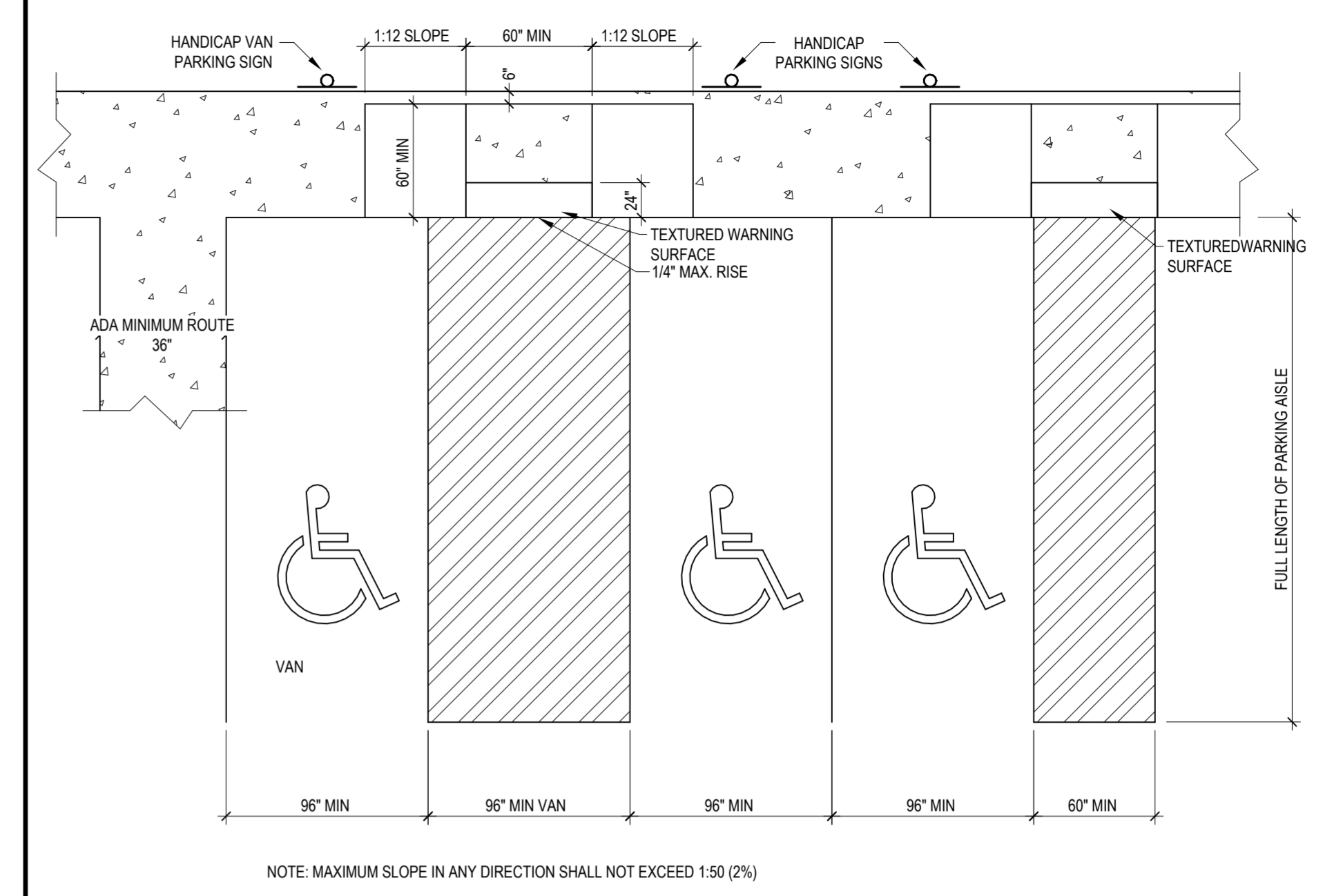
MINIMUM TURNING SPACES



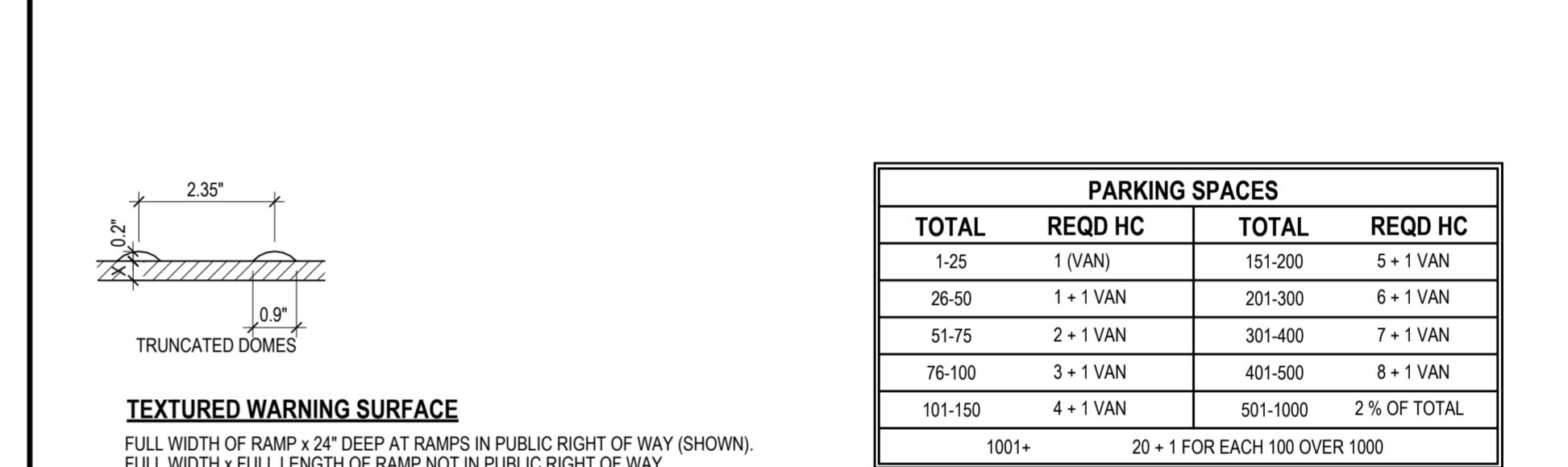
FLOOR SURFACES AND LEVEL CHANGES



PARKING AND RAMP DETAILS

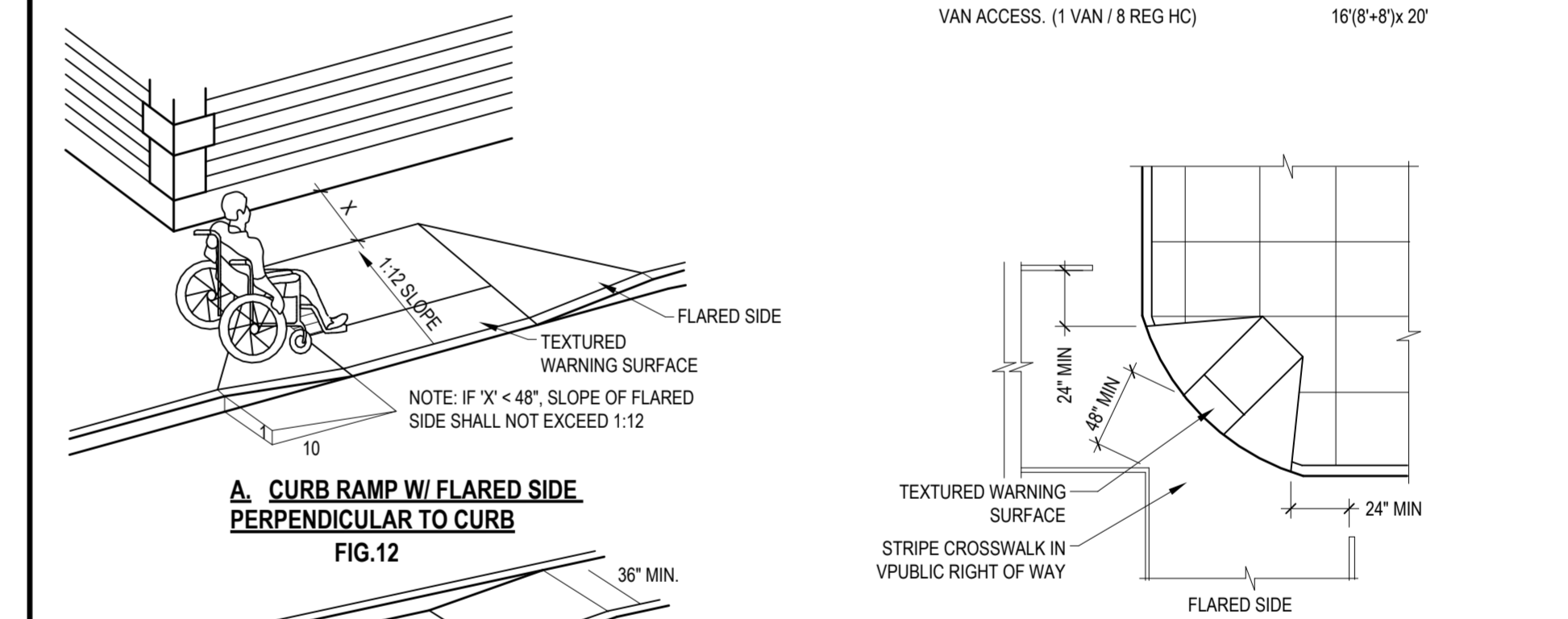


NOTE: MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 1:50 (2%)



TEXTURED WARNING SURFACE

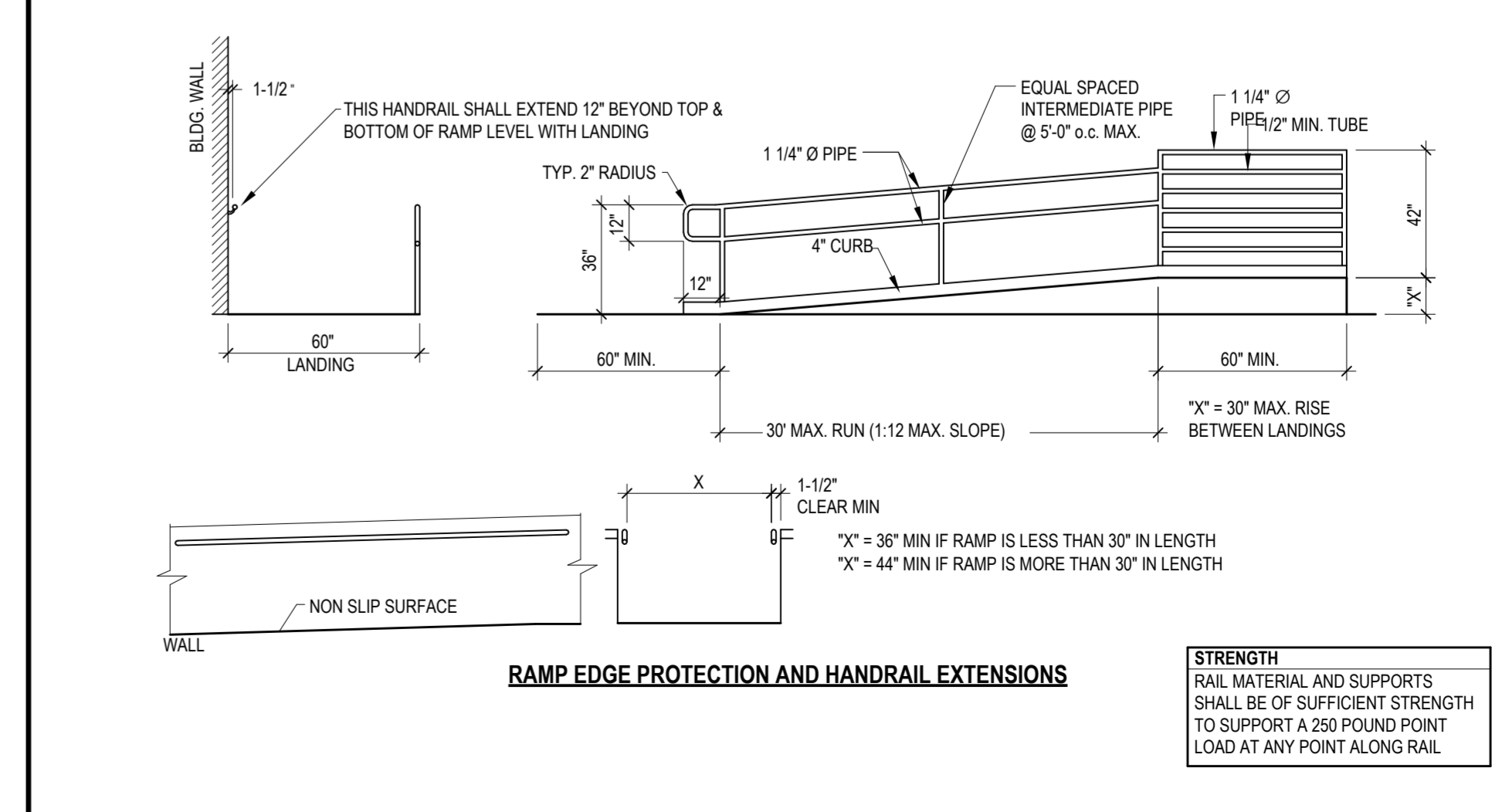
FULL WIDTH OF RAMP x 24" DEEP AT RAMP IN PUBLIC RIGHT OF WAY (SHOWN). FULL WIDTH x FULL LENGTH OF RAMP NOT IN PUBLIC RIGHT OF WAY.



A. CURB RAMP W/ FLARED SIDE PERPENDICULAR TO CURB
FIG.12

B. CURB RAMP PARALLEL TO CURB
FIG.59

C. CURB RAMP DIAGONAL TO CURB

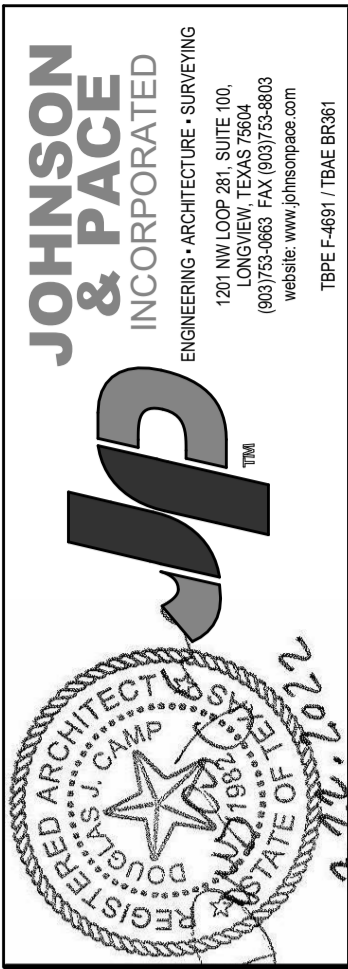


RAMP EDGE PROTECTION AND HANDRAIL EXTENSIONS

STRENGTH
RAIL MATERIAL AND SUPPORTS SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT A 250 POUND POINT LOAD AT ANY POINT ALONG RAIL

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Project: 2024-008 - Kilgore College Starks Hall Renovation
Date: 07/22/2022
Author: J.P. Johnson
Check: J.P. Johnson
Scale: AS SHOWN
Sheet: G0.3



KILGORE COLLEGE
STARK HALL R.R. RENOVATION
607 ELDER STREET
KILGORE, TX 75662

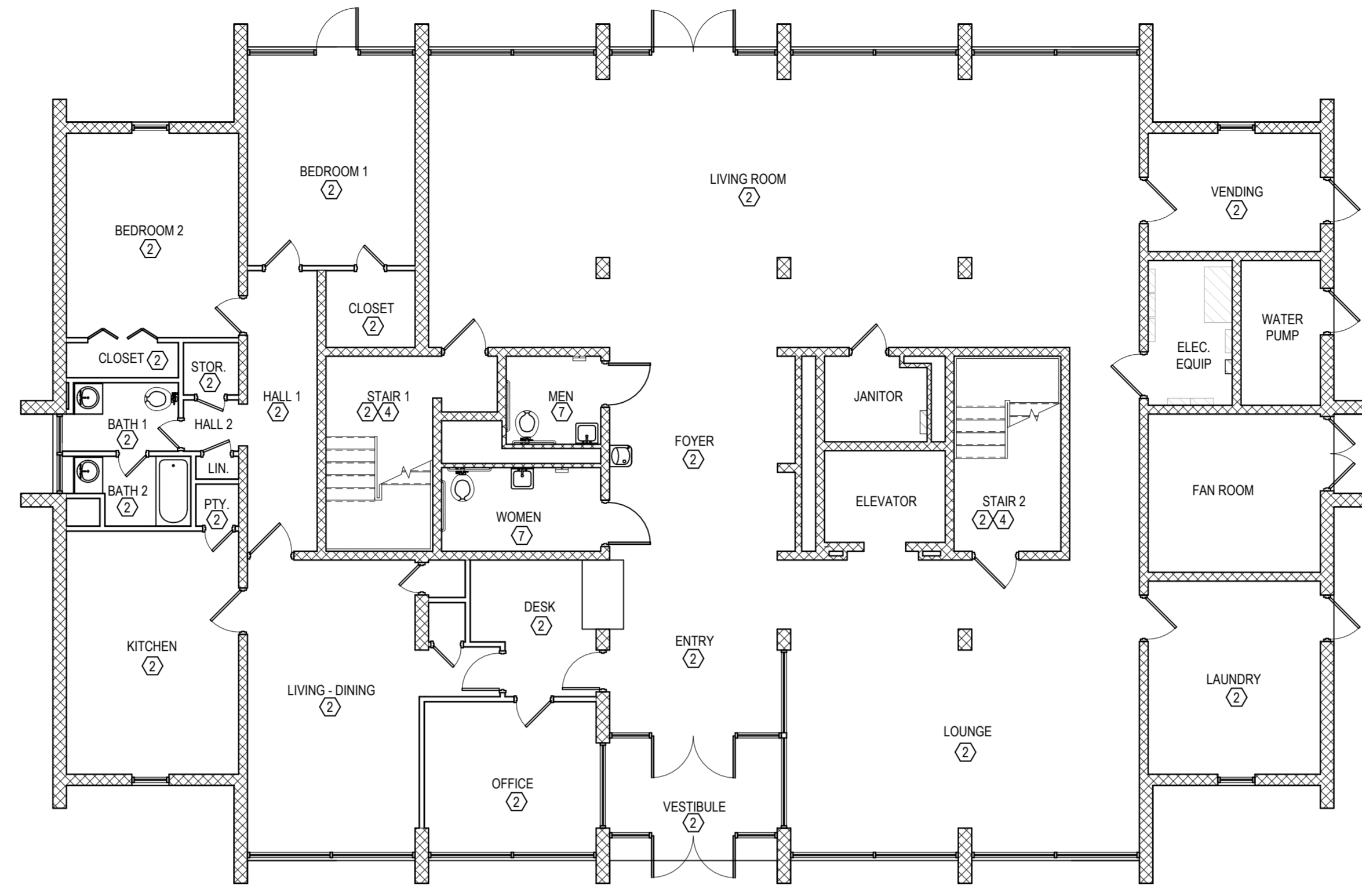
NO.	REVISIONS	DATE
0	ISSUED FOR PERMIT	06/29/2022
1	ISSUED FOR BIDDING	07/22/2022

ACCESSIBILITY GUIDELINES
ISSUED FOR BIDDING

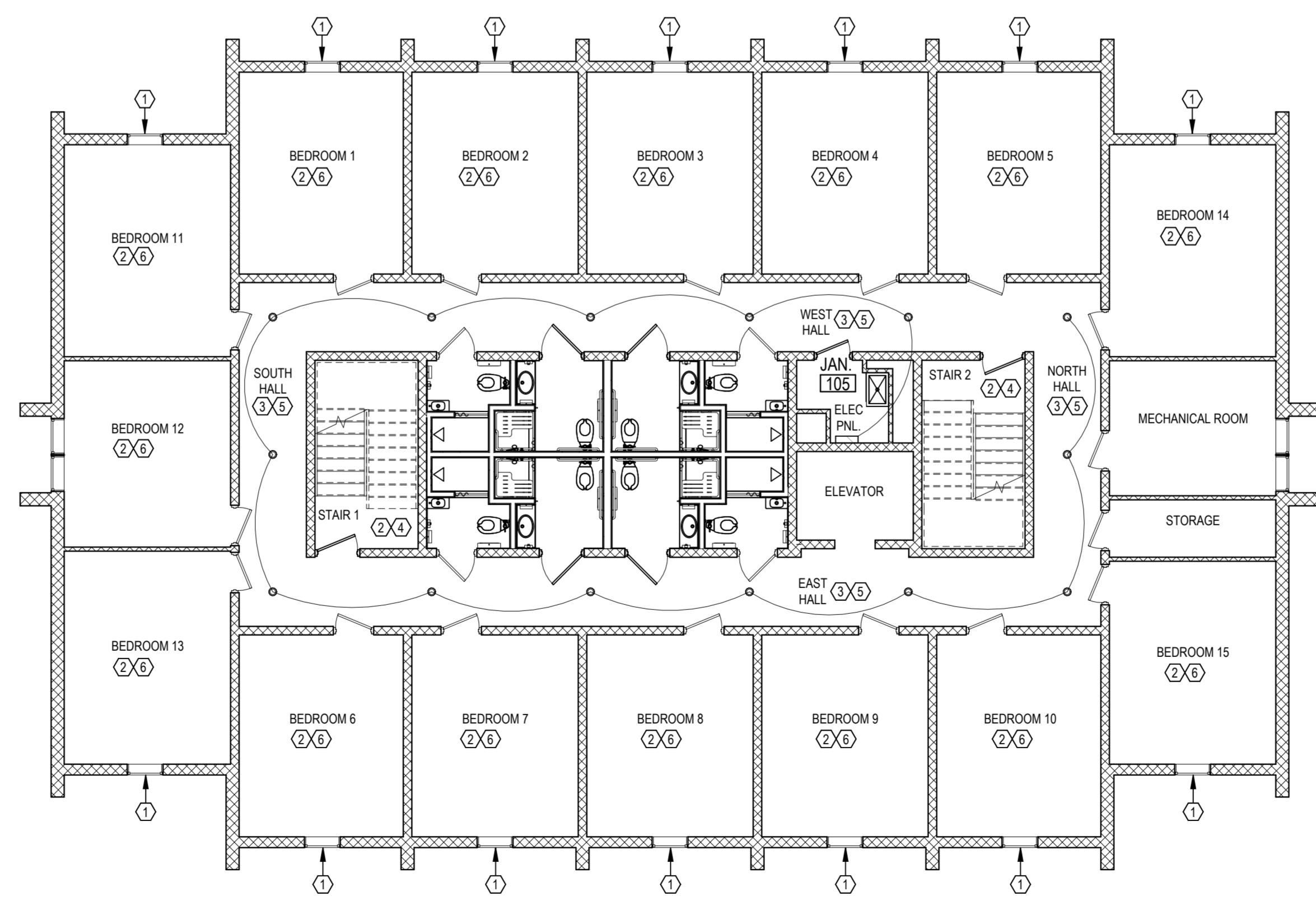
DATE	BY	SCALE	REVISION NO.
2024-008	J.P. Johnson	AS SHOWN	1

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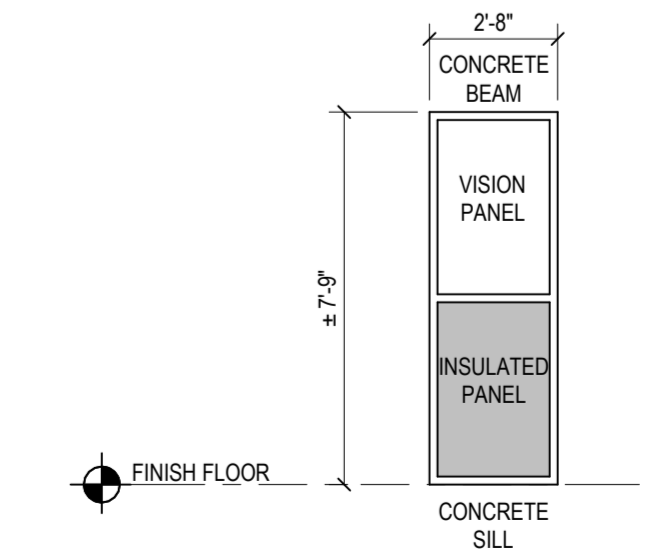


1 BID ALTERNATES - FIRST FLOOR
 SCALE: 1/8" = 1'-0"

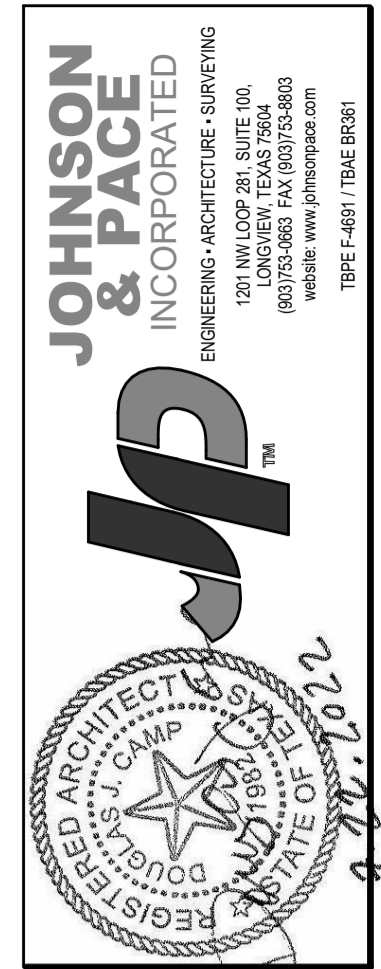


2 BID ALTERNATES - FLOORS 2 THRU 8
 SCALE: 1/8" = 1'-0"

- BID ALTERNATES 1-7**
- REGLAZE WINDOWS:**
 - REPLACE SINGLE PANE VISION GLAZING IN EACH OF THE (15) RESIDENT ROOMS ON FLOORS 2 THRU 8 (TOTAL 105 WINDOWS) WITH 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANT DOUBLE PANE GLAZING.
 - VISION PANEL COMPRISES ABOUT HALF THE AREA OF A TYPICAL WINDOW, THE LOWER HALF OF WHICH IS AN INSULATED SPANDREL PANEL WHICH WILL REMAIN. OVERALL WINDOW SIZE IS 32"x33" SUCH THAT THE VISION PANEL FILLS A FINISHED OPENING OF ABOUT 28"x44". WINDOW FRAME APPEARS TO BE CLEAR ANODIZED ALUMINUM.
 - REPLACE VISION PANEL WITH 1" THICK INSULATED GLAZING PANEL. REMOVE INTERIOR STOPS. MODIFY FRAME TO RECEIVE THICKER PANEL, AND INSTALL NEW STOPS AS NECESSARY FOR DRY-SEAL GASKETED INSTALLATION FROM INTERIOR OF BUILDING. MATCH EXISTING FINISHES AND COLORS.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO BIDDING.
 - PAINT BUILDING INTERIOR:**
 - ON FLOORS 1 THRU 8 INCLUDING LOBBY, RESIDENT ROOMS, OFFICES, STAIRWELLS, ETC., PAINT ALL EXISTING INTERIOR BUILDING SURFACES THAT ARE NOT ALREADY SCHEDULED FOR PAINTING IN BASE BID.
 - SURFACES TO PAINT: REFER TO 1/GO.6 AND 2/GO.6 FOR SPACES TO BE PAINTED. WALL LOCATIONS AND LENGTHS, DOORS AND FRAMES, AND ASSUMED SURFACES (MASONRY OR DRYWALL), REFER TO 1/A1.0 FOR WALL HEIGHTS. CEILINGS IN HALLS ARE GENERALLY DRYWALL, CEILINGS IN RESIDENT ROOMS ARE CONCRETE. CEILINGS OF GROUND FLOOR ROOMS ARE SUSPENDED ACOUSTICAL PANELS (DO NOT PAINT SUSPENDED ACOUSTICAL CEILINGS). MASONRY SURFACES NOT ALREADY PAINTED ARE TO REMAIN UNFINISHED.
 - PREPARE AND PAINT MASONRY, DRYWALL, DRYWALL CEILING, CONCRETE CEILING AND METAL DOOR AND FRAME SURFACES IN ACCORDANCE WITH BASE BID PAINT SPECIFICATION.
 - ASSUME THAT BASIC FURNITURE WILL NOT HAVE BEEN REMOVED FROM ROOM PRIOR TO PAINTING. PROTECT EXISTING FLOOR COVER AND WALL BASE FROM PAINT.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO BIDDING.
 - HALLWAY FLOORS:**
 - REMOVE EXISTING CARPET FROM HALLWAYS (±810 s.f. PER FLOOR) ON RESIDENT FLOORS 2 THRU 8 TO EXPOSE EXISTING TERRAZZO BENEATH. CARPET APPEARS TO BE SELF-ADHERING CARPET TILES.
 - EMPLOY TRADESMEN EXPERIENCED IN REFINISHING TERRAZZO FLOORING.
 - ASSUMING THAT THE EXISTING TERRAZZO IS UNDAMAGED, REMOVE ADHESIVE AND OTHER SUBSTANCES FROM FLOOR WITH GRINDER. POLISH FLOOR WITH SUCCESSIVE PASSES OF 800, 1500, AND 2000 GRIT POWDER AND THOROUGHLY DRY. APPLY SEALER.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO BIDDING.
 - REPAIR STAIR TREADS:**
 - IN BOTH STAIRWELLS, REMOVE CRACKED / DAMAGED CONCRETE FROM EXISTING METAL PANS AND REPLACE WITH NEW CONCRETE. PROTECT TREAD LEAD EDGE FROM DAMAGE DURING REMOVALS. CLEAN NEW CONCRETE FROM ADJACENT FINISHED SURFACES AND TOUCH UP ADJACENT FINISHES.
 - TYPICAL TREAD APPEARS TO BE ABOUT 12" DEEP x 44" WIDE x 1-1/2" THICK.
 - PROVIDE LUMP SUM PRICE TO REPAIR 80 TREADS AND A PER-TREAD UNIT PRICE FOR ADDITIONAL TREADS.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO BIDDING.
 - REPLACE HALLWAY LIGHTING:**
 - REMOVE EXISTING WALL MOUNT LIGHT FIXTURES FROM EACH HALLWAY ON FLOORS 2-8 (ABOUT 10 FIXTURES PER FLOOR, ABANDON CIRCUIT, AND COVER BOXES WITH BLANK DEVICE PLATE TO RECEIVE WALL PAINT.
 - PROVIDE 14 NEW LIGHTOLIER #5TR SLIM SURFACE LED DOWNLIGHTS ON EACH OF FLOORS 2-8 AS INDICATED ON 2/GO.6. DOWNLIGHTS SHALL BE ON NEW DIMMABLE POWER CIRCUIT RUN TO NEW ELECTRICAL PANEL INSTALLED UNDER BASE BID IN JANITOR 105 ON EACH FLOOR.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO BIDDING.
 - NEW CEILING FANS:**
 - REPLACE EXISTING SURFACE MOUNTED LIGHT FIXTURE IN EACH OF THE (15) RESIDENT ROOMS ON FLOORS 2 THRU 8 WITH NEW CEILING FAN & LIGHT KIT (105 TOTAL FANS).
 - RE-USE EXISTING SWITCHED ELECTRICAL CIRCUIT TO SERVE NEW FANS / LIGHTS.
 - PROVIDE HUNTER DEMPSEY LOW PROFILE WITH LED LIGHT 52" LAMPS, HAND HELD REMOTE TO CONTROL FANS SPEED AND DIM LIGHT. PROVIDE MANUFACTURER RECOMMENDED KIT FOR MOUNTING UNIT TO CONCRETE SUBSTRATE.
 - LOBBY RESTROOM FINISHES:**
 - REMOVE EXISTING FLOOR & CEILING FINISHES FROM FIRST FLOOR LOBBY RESTROOMS (RE-2/GO.6).
 - IN ADDITION TO WORK SPECIFIED IN BASE BID, PROVIDE NEW FINISHES IN LOBBY RESTROOMS THAT MATCH RESIDENT RESTROOMS, IE: UNGLAZED TILE FLOOR, GLAZE TILE WALLS, PAINTED SUSPENDED GYPSUM CEILING WITH ACCESS HATCH.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND FINISHES PRIOR TO BIDDING.



3 TYPICAL RESIDENT ROOM WINDOW
 SCALE: NTS



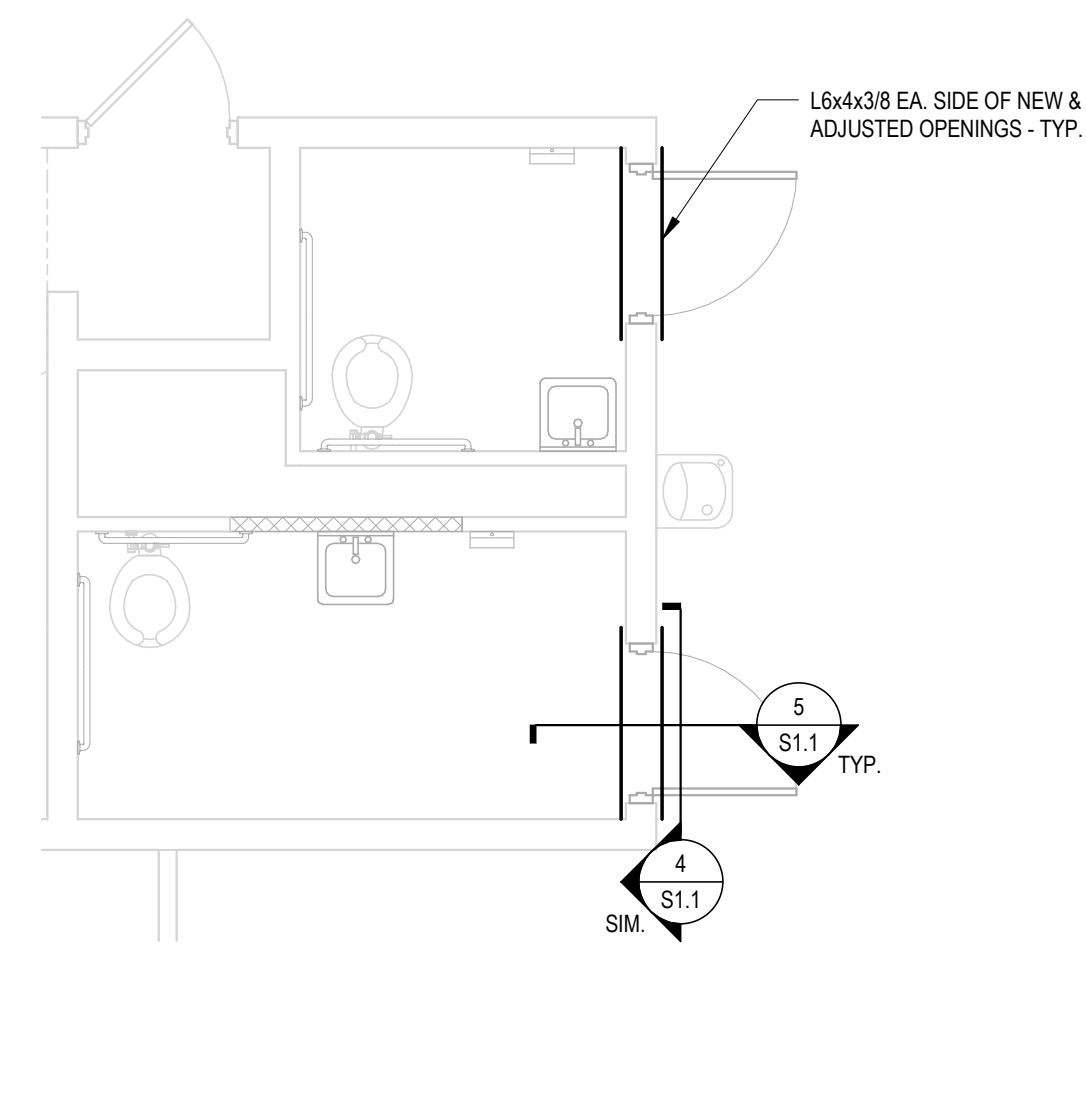
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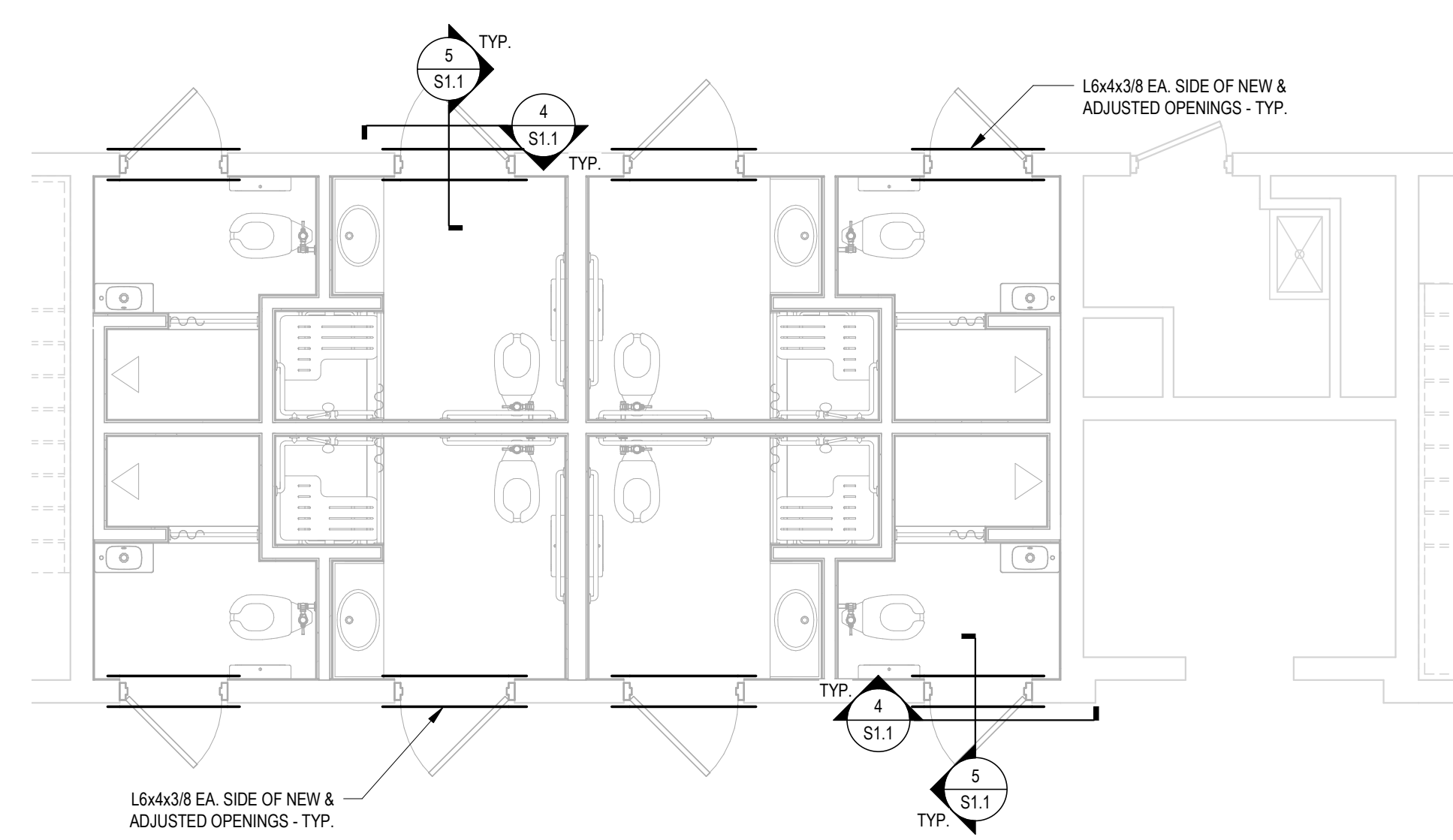
BID ALTERNATES
 ISSUED FOR BIDDING

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DRAWN BY: JCT	DATE: 07/22/2022	
SHEET NO: G0.9		

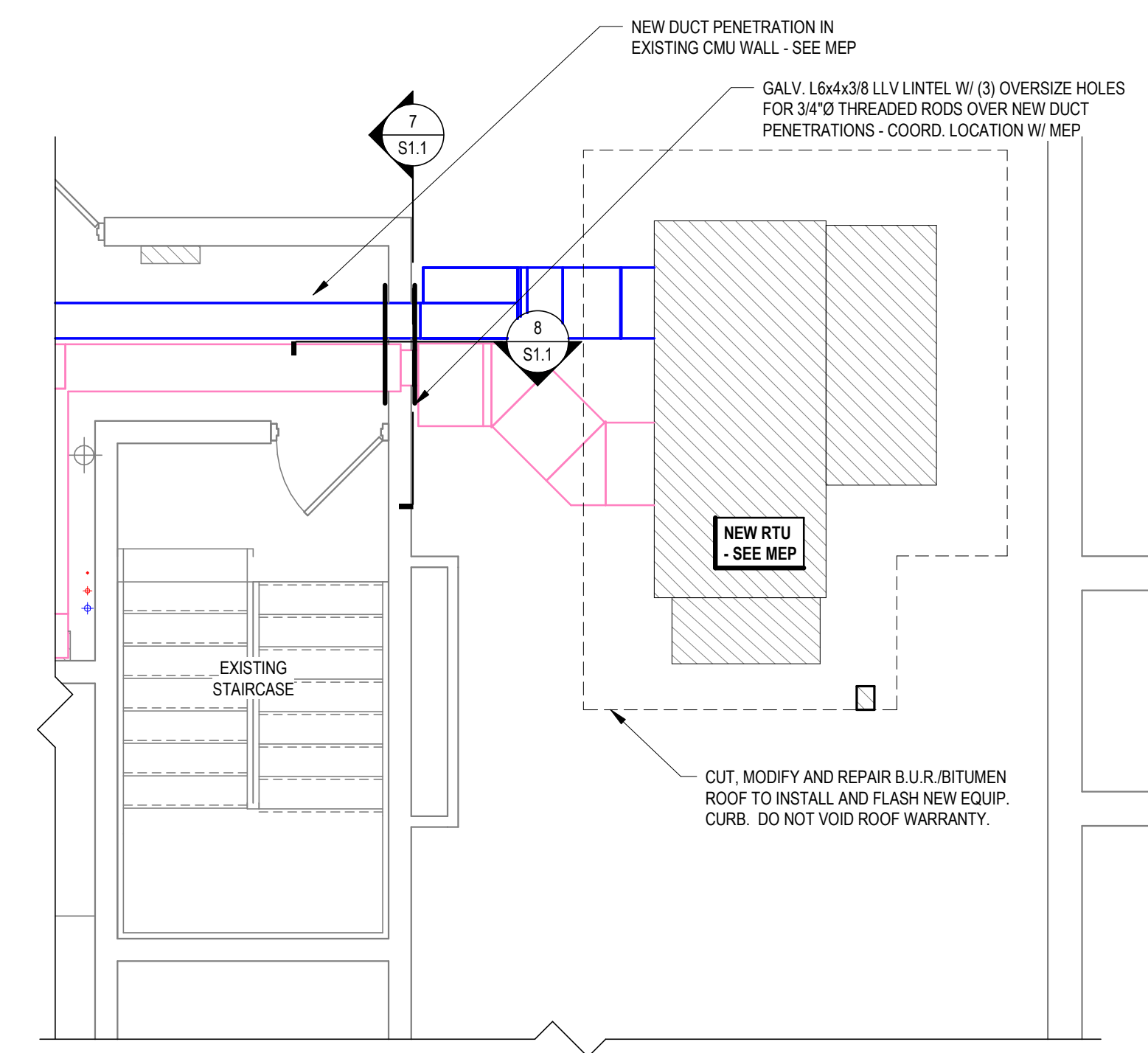
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1 TYPICAL BATHROOM LAYOUT PLAN (1st FLOOR)
 SCALE: 1/4" = 1'-0"
 NOTE: SEE ARCH. FOR DIMENSIONAL INFO. & DOOR LOCATIONS.



2 TYPICAL BATHROOM LAYOUT PLAN (FLOORS 2-8)
 SCALE: 1/4" = 1'-0"
 NOTE: SEE ARCH. FOR DIMENSIONAL INFO. & DOOR LOCATIONS.



3 TOP OF ROOF PENTHOUSE DUCT LINTEL PLAN
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

GENERAL:
 THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM SUBCONTRACTORS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE IF ANY ERROR, OMISSION, INCONSISTENCY, AMBIGUITIES OR CONFLICTS WITH EXISTING CONDITIONS, ARE DISCOVERED ON THESE DRAWINGS OR SPECIFICATIONS.

THE ENGINEER WILL NOT HAVE CONTROL OVER, CHARGE OF, OR RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.

ALL WORK TO CONFORM TO 2012 INTERNATIONAL BUILDING CODE AND ALL OTHER GOVERNING FEDERAL, STATE AND LOCAL REGULATIONS.

VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE BEFORE SUBMITTING SHOP DRAWINGS, ORDERING ANY MATERIAL OR COMMENCEMENT OF ANY WORK.

THE CONTRACTOR MUST FAMILIARIZE HIMSELF WITH EACH DETAIL CONTAINED IN THE DRAWINGS AND REPORT ANY DETAILS NOT REFERENCED FOR SPECIAL INSTRUCTIONS BY THE ENGINEER.

DESIGN LIVE LOADS:

RESIDENTIAL	40 PSF
ROOF	20 PSF

CONTACT PROPER AUTHORITIES TO LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR FOOTINGS.

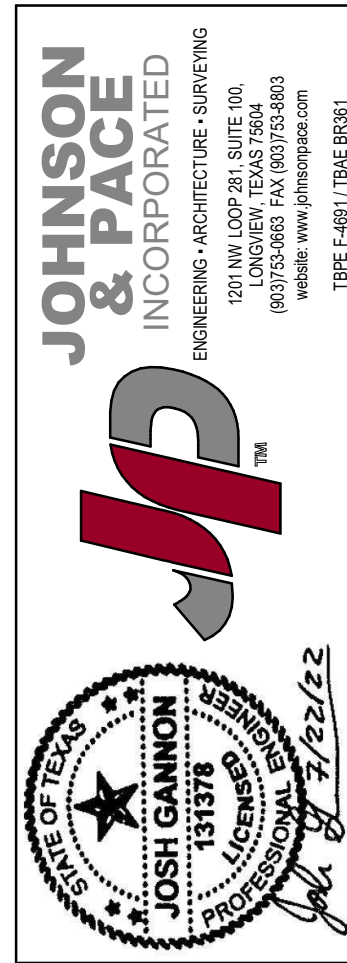
STRUCTURAL STEEL: - ALL FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF ANSIAISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", AISC 303 "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND AWS D1.1 "STRUCTURAL WELDING CODE". ROLLED WIDE FLANGE SECTIONS TO BE ASTM-A992. ALL OTHER ROLLED SECTIONS TO BE ASTM-A36 OR ASTM-A572, GR. 50. WELDING ELECTRODES E70XX. SHOP CONNECTIONS BOLTED OR WELDED. FIELD CONNECTIONS BOLTED WITH A325-N BOLTS, INSULATED BY SNUG-TIGHT METHOD, UNLESS WELDED CONNECTIONS ARE NOTED ON DRAWINGS. ALL STEEL TO RECEIVE SHOP PRIME COAT OF PAINT AS REQUIRED BY SPECIFICATIONS. STEEL SHALL BE GALVANIZED, ASTM A525.

ANCHOR BOLTS ASTM F1554, GRADE 36. PROVIDE HEX HEADED ANCHOR BOLTS UNLESS SHOWN OTHERWISE IN DETAILS. IN LIEU OF HEADED BOLTS CONTRACTOR MAY USE ROD THREADED ON EACH END, OR ALL THREAD, AND NUTS WITH MECHANICALLY DEFORMED THREADS TO LOCK THE NUT ONTO THE BOLT SHAFT. THREADED ROD TO BE ASTM A36.

CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS FOR STRUCTURAL STEEL ERECTION, WHETHER OR NOT SPECIFIC OSHA DETAILS ARE SHOWN ON THESE DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND FOR COMPLYING WITH ALL GOVERNMENTAL REGULATIONS. THE DESIGN PROFESSIONAL DOES NOT ASSUME ANY RESPONSIBILITY FOR JOB SITE PROCEDURES AND SAFETY.

GUYS AND OTHER BRACING REQUIRED TO PROVIDE LATERAL STABILITY TO THE BUILDING SHALL BE ADEQUATELY SIZED AND ANCHORED. THIS BRACING SHALL REMAIN UNTIL THE PERMANENT BRACING SYSTEM IS IN PLACE.

PROVIDE SOLID BEARING UNDER LINTELS.



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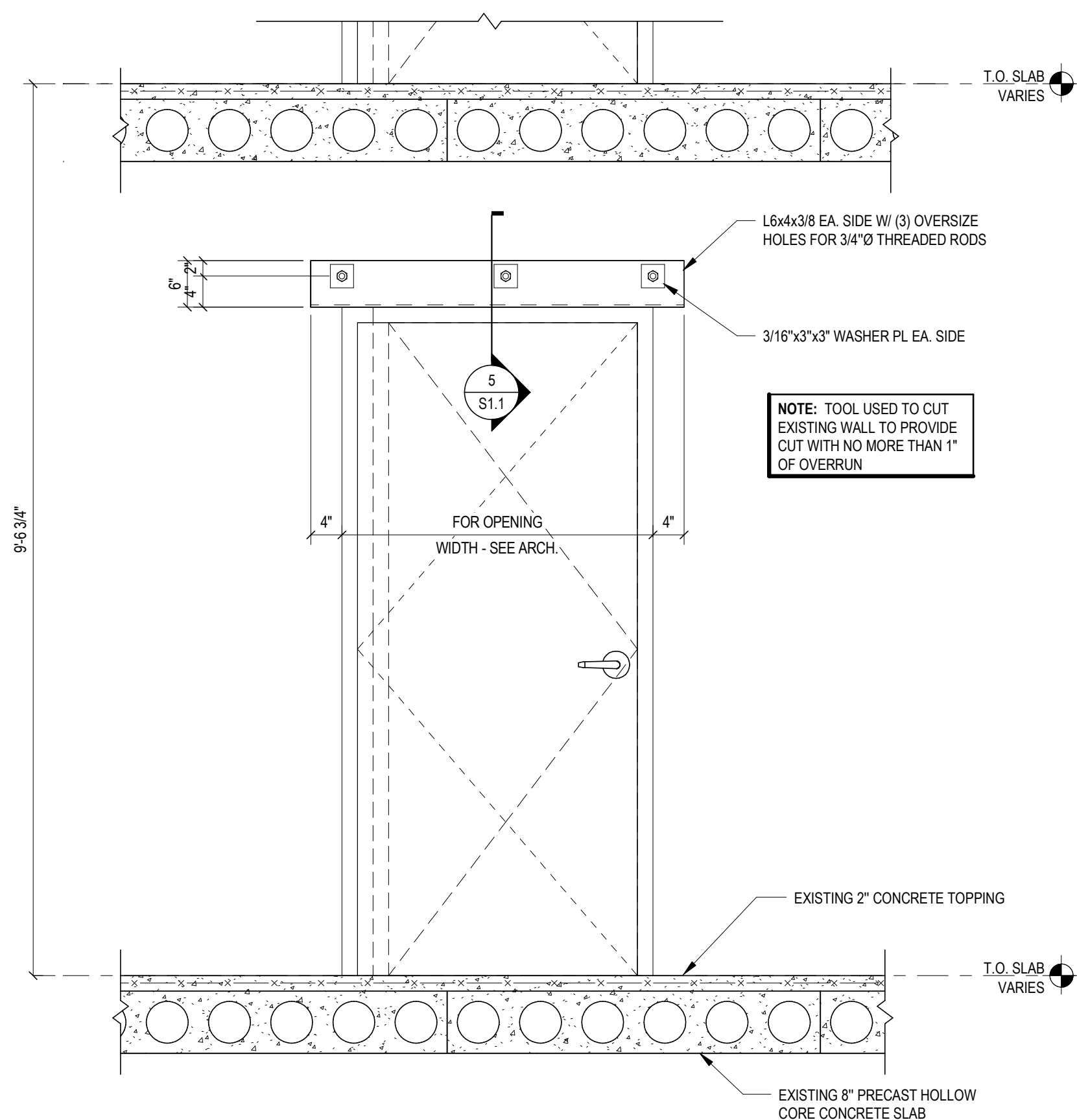
NEW & EXPANDED OPENING LINTEL SUPPORT PLANS & DETAILS

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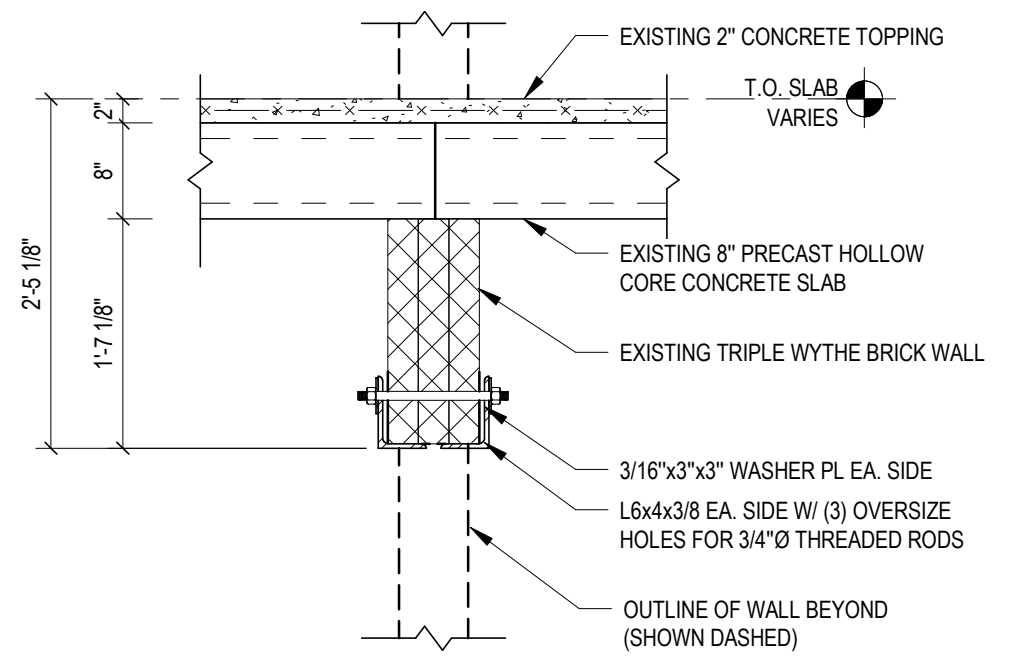
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BY	JG
CHECKED BY	JG
APPROVED BY	JG
DATE	07/22/2022
PROJECT	STARK HALL RENOVATION
SHEET NO.	1
TOTAL SHEETS	1

- ORDER OF INTERIOR LINTEL CONSTRUCTION:**
- CUT 3 1/2" DEEP SLOT INTO ONE SIDE OF EXISTING BRICK WALL.
 - INSERT 4" LEG OF L6x4x3/8 ANGLE INTO SLOT.
 - CUT 4" DEEP SLOT INTO OPPOSITE SIDE OF EXISTING BRICK WALL.
 - INSERT 3 1/2" LEG OF L6x4x3/8 ANGLE INTO SLOT.
 - FIELD DRILL EXISTING BRICK WALL TO INSTALL 3/4" THREADED RODS.
 - FASTEN 3/16"x3"x3" WASHER PLATES AND NUTS SNUG TIGHT ON EACH SIDE OF WALL.
 - CUT AND REMOVE EXISTING BRICK WALL BELOW LINTEL WHERE SHOWN ON ARCH. DEMOLITION DETAILS.
 - REPEAT PROCESS AT NEXT OPENING LOCATION.

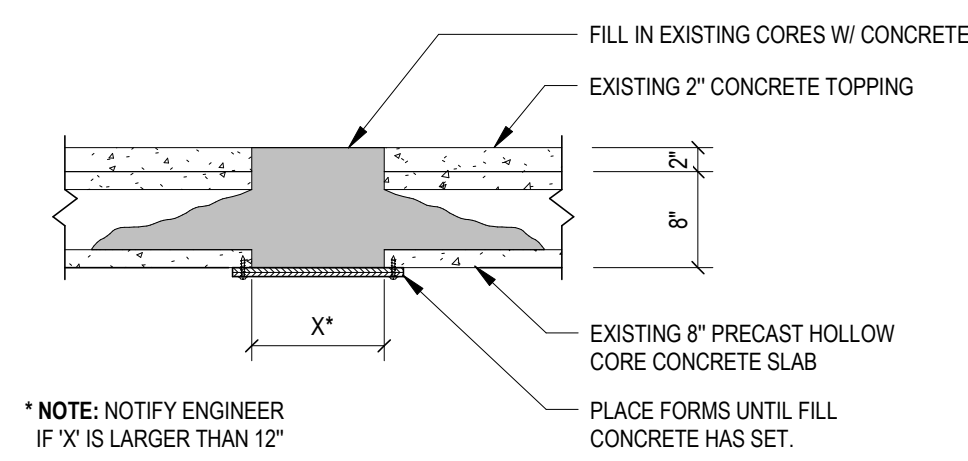
- ORDER OF PENTHOUSE LINTEL CONSTRUCTION:**
- CUT 3 1/2" DEEP SLOT INTO ONE SIDE OF EXISTING BRICK WALL.
 - INSERT 4" LEG OF L6x4x3/8 ANGLE INTO SLOT.
 - CUT 3 1/2" DEEP SLOT INTO OPPOSITE SIDE OF EXISTING BRICK-FACED CMU WALL.
 - INSERT 4" LEG OF L6x4x3/8 ANGLE INTO SLOT.
 - FIELD DRILL EXISTING WALL TO INSTALL 3/4" THREADED RODS.
 - FASTEN 3/16"x3"x3" WASHER PLATES AND NUTS SNUG TIGHT ON EACH SIDE OF WALL.
 - CUT AND REMOVE EXISTING BRICK-FACED CMU WALL BELOW LINTEL AS REQ. FOR DUCT PENETRATIONS.
 - FLASH AND SEAL WEATHER TIGHT.



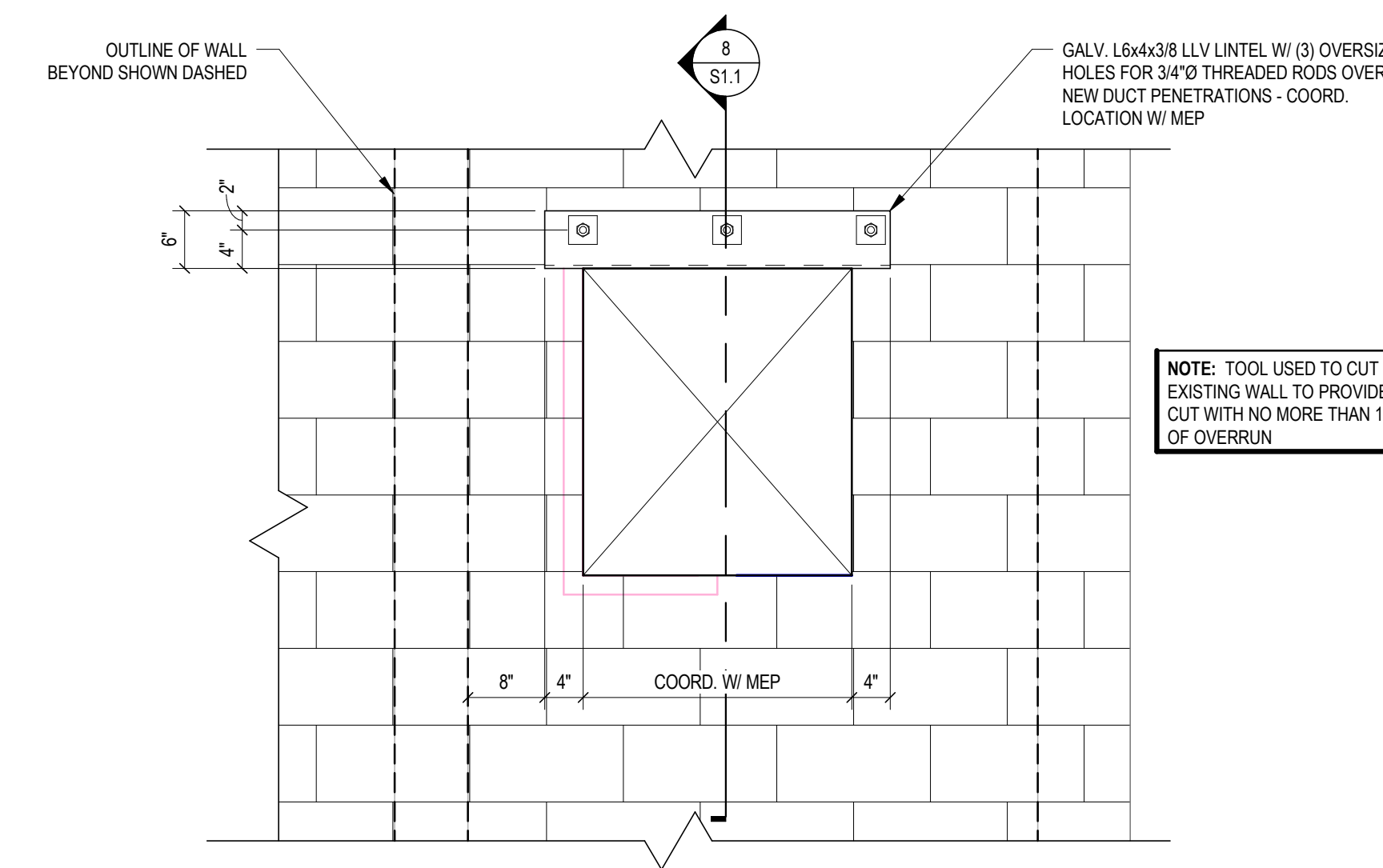
4 TYPICAL LINTEL ELEVATION @ NEW & ADJUSTED OPENINGS (8 PER FLOOR)
 SCALE: 3/4" = 1'-0"



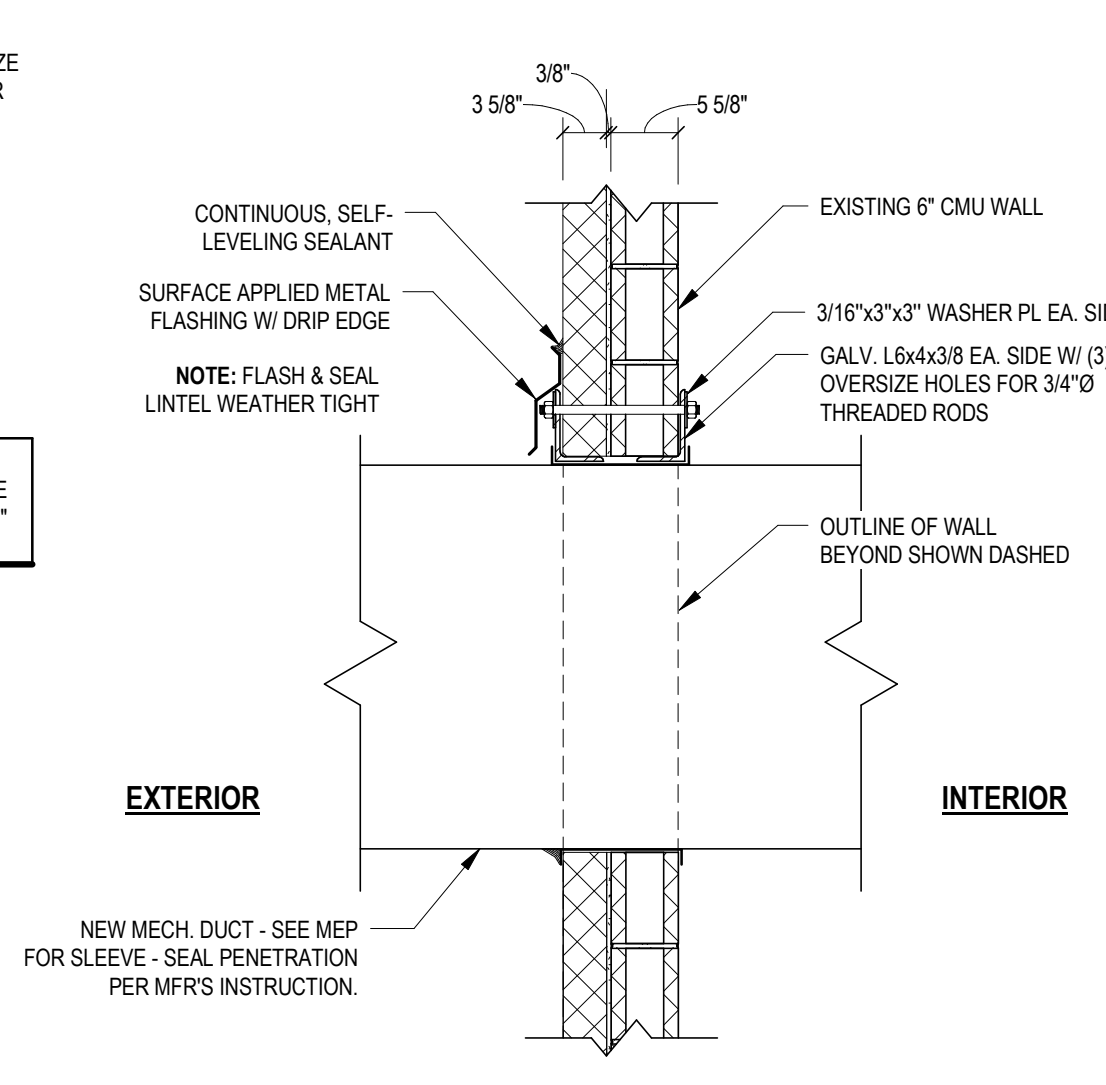
5 TYPICAL LINTEL SECTION @ NEW & ADJUSTED OPENINGS
 SCALE: 3/4" = 1'-0"



6 TYPICAL CORE PATCH DETAIL
 SCALE: 3/4" = 1'-0"

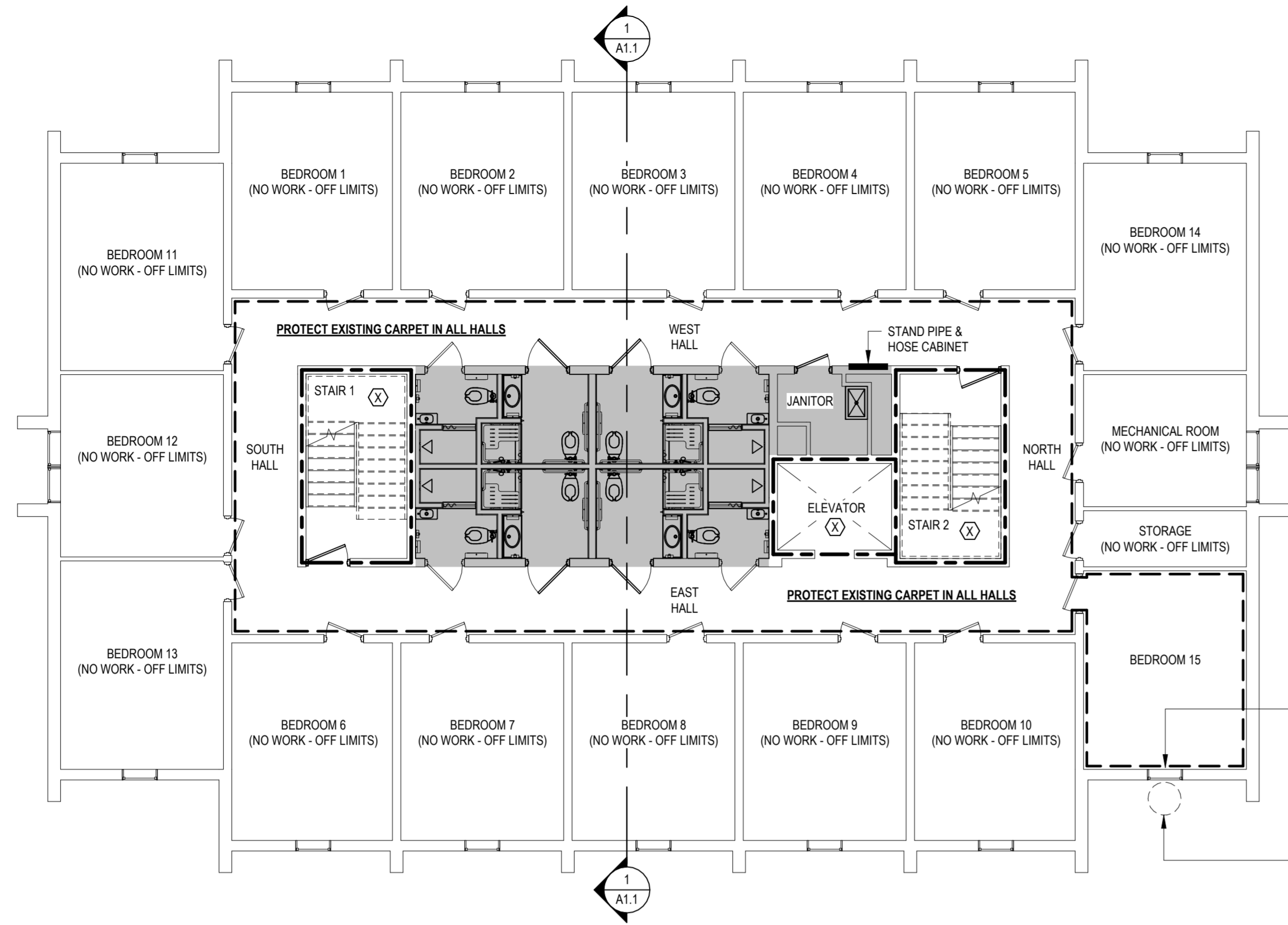


7 PENTHOUSE DUCT LINTEL ELEVATION
 SCALE: 3/4" = 1'-0"



8 PENTHOUSE DUCT LINTEL SECTION
 SCALE: 3/4" = 1'-0"

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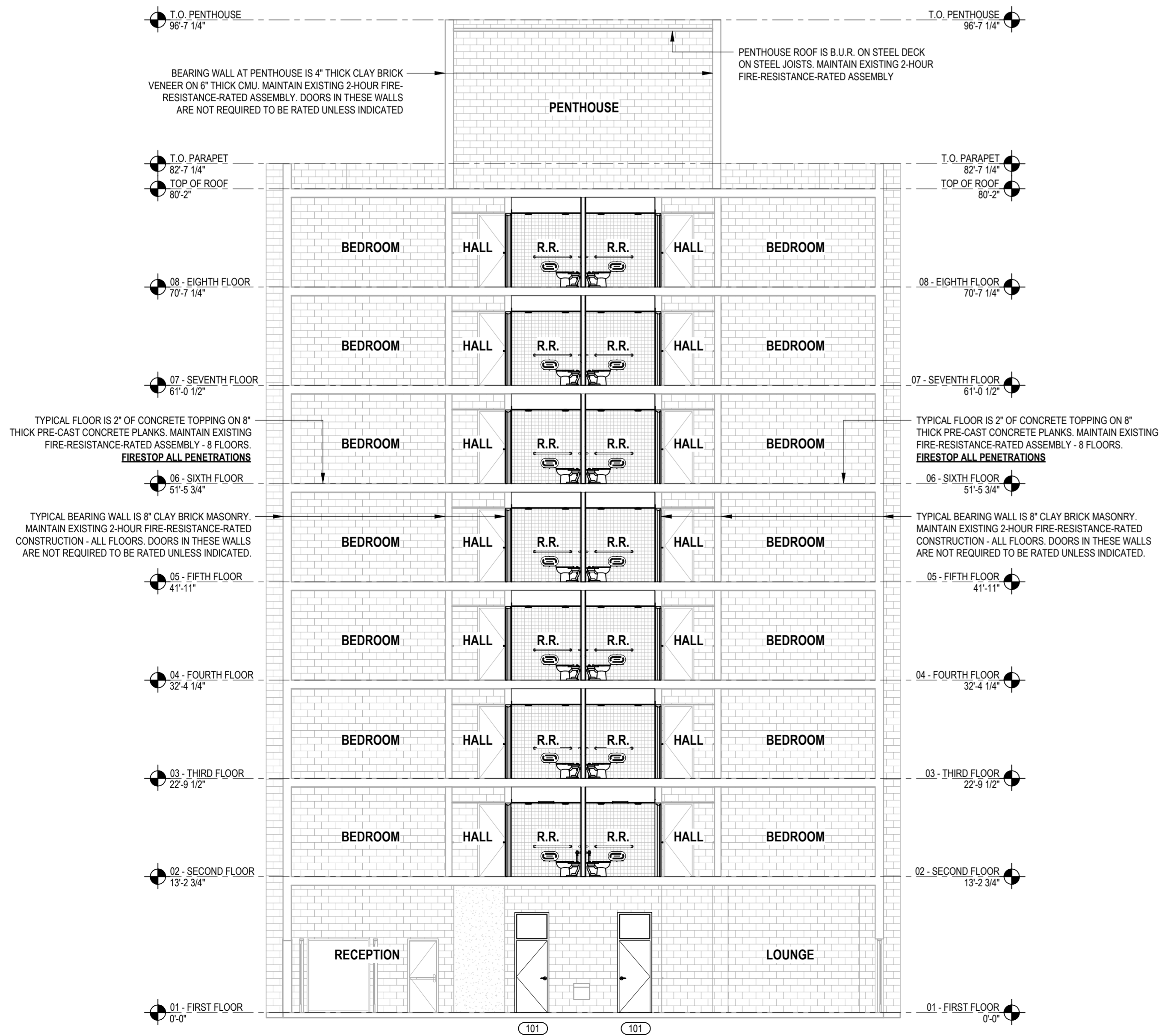


LEGEND	
	ACTUAL WORK AREA ON TYPICAL FLOOR
	2-HOUR FIRE RESISTANCE RATED FIRE BARRIER AT STAIRWELL AND ELEVATOR SHAFT WALLS. FIRESTOP ALL PENETRATIONS IN THESE WALLS
	CONTRACTOR LIMITS OF WORK, ACCESS & STAGING (TYPICAL ON FLOORS 2-8)
	PROTECT ALL SURFACES IN ELEVATOR CAB AND STAIRWELLS
	GRASS AREA - CONTRACTOR SHALL BLOCK SOD ALL DISTURBED AREAS WITHIN THE SUBJECT BOUNDARY NOT PAVED OR OTHERWISE COVERED. ALL AREAS DISTURBED OUTSIDE THE PROPERTY BOUNDARY SHALL ALSO BE BLOCK SODDED AND COVER SHALL BE ESTABLISHED TO PREVENT EROSION. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY WATERING UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.

REMOVE, SALVAGE, CLEAN AND STORE FOR RE-INSTALLATION IN THE SAME LOCATION, THE EXISTING WINDOW ON EACH FLOOR TO TRANSFER MATERIAL INTO THE INTAKE HOPPER OF THE RUBBISH CHUTE. CONTRACTOR MAY, AT HIS DISCRETION, REMOVE/SALVAGE/REPLACE ONLY THE GLAZED OR SPANDREL PANEL OF THE WINDOW IF THIS ALLOWS ADEQUATE ACCESS.

SUGGESTED LOCATION OF RUBBISH DISPOSAL CHUTE

2 TYPICAL FLOOR KEY & FIRE PROTECTION PLAN REFER TO 1/A1.1 FOR ADDITIONAL FIRE RESISTANT-RATED ASSEMBLIES
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION FOR REFERENCE ONLY AND FIRE PROTECTION
SCALE: 1/8" = 1'-0"



3 ARCHITECTURAL SITE PLAN
SCALE: 1" = 40'-0"

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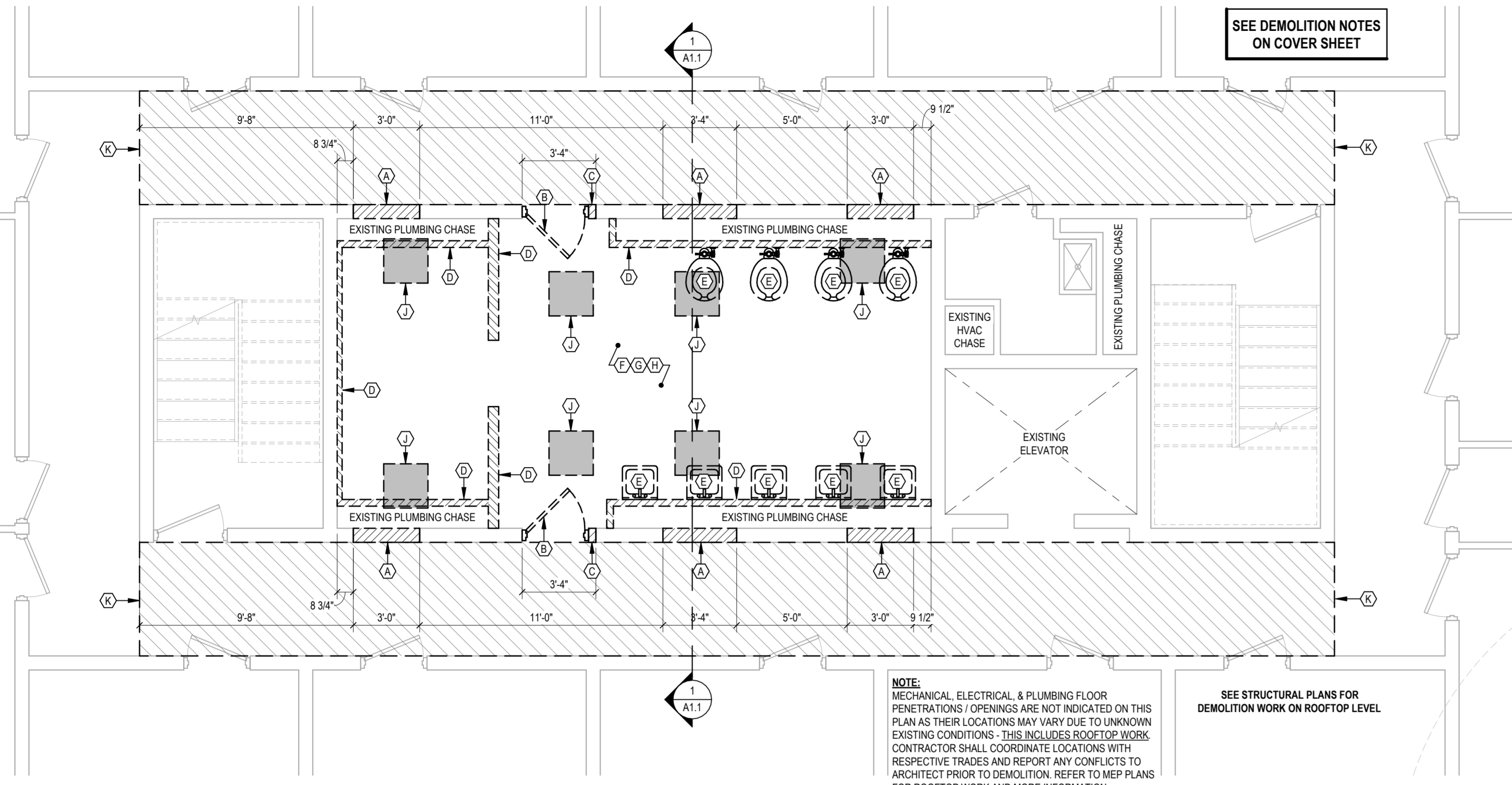
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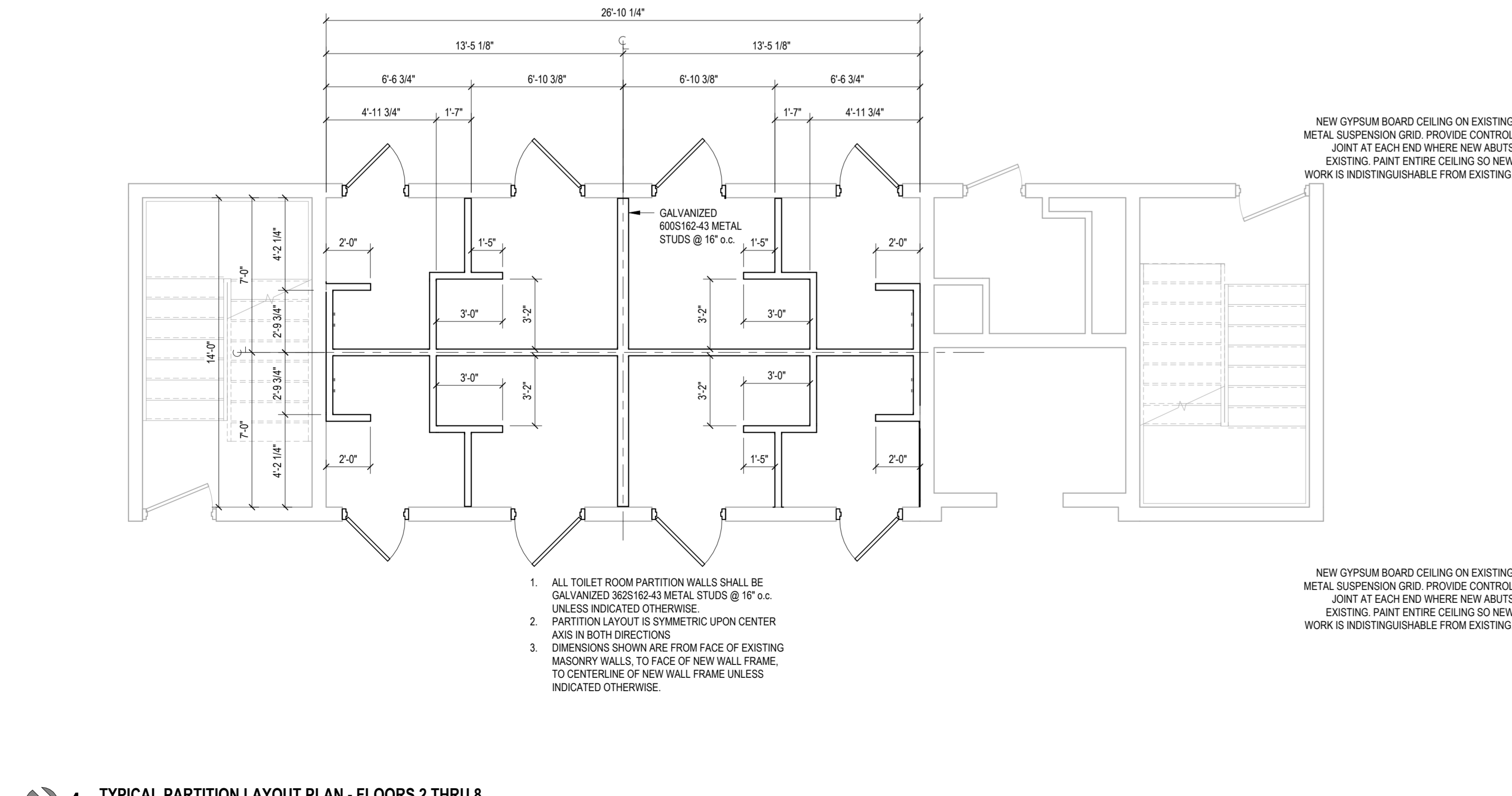
ARCHITECTURAL SITE PLAN & BUILDING SECTION
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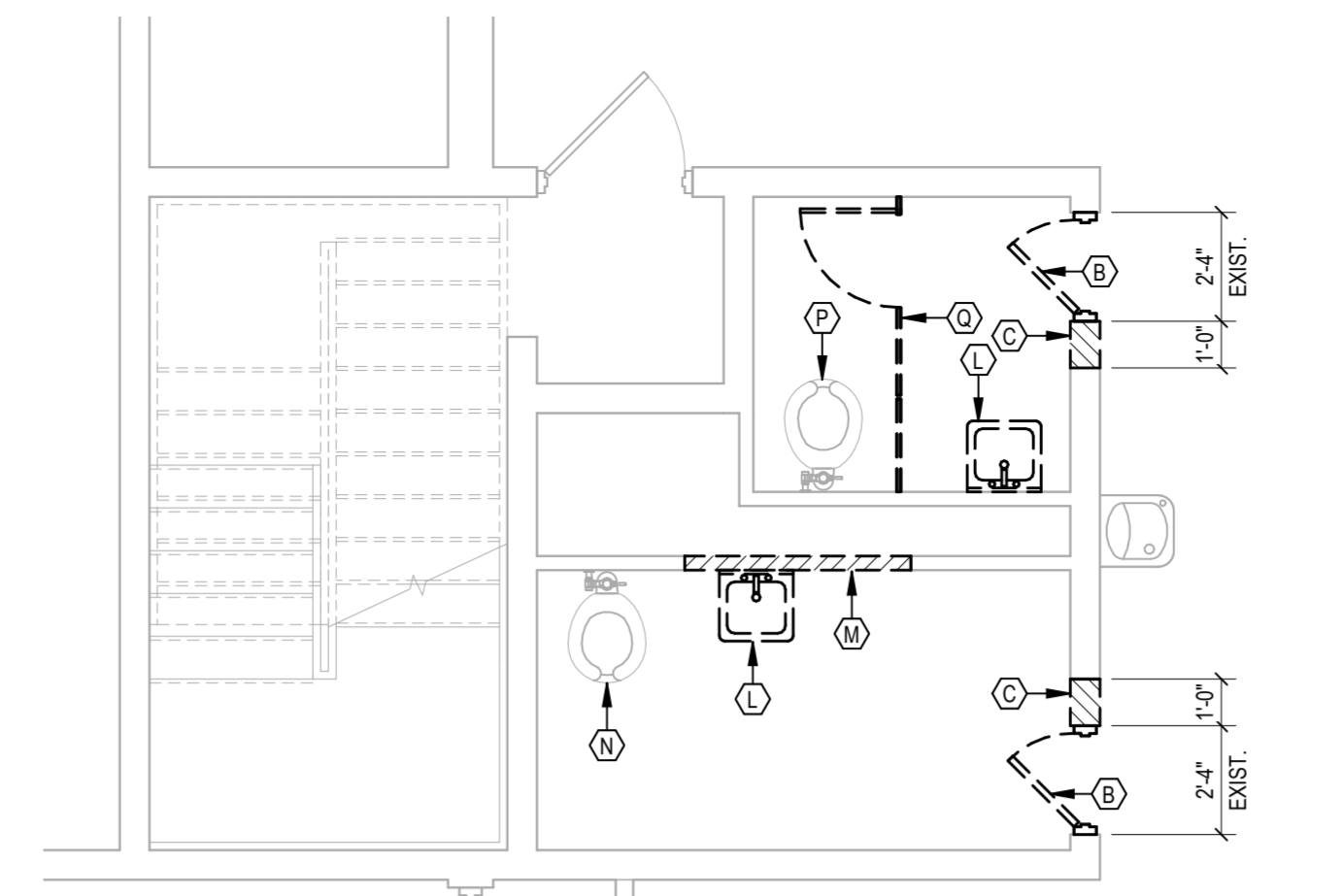
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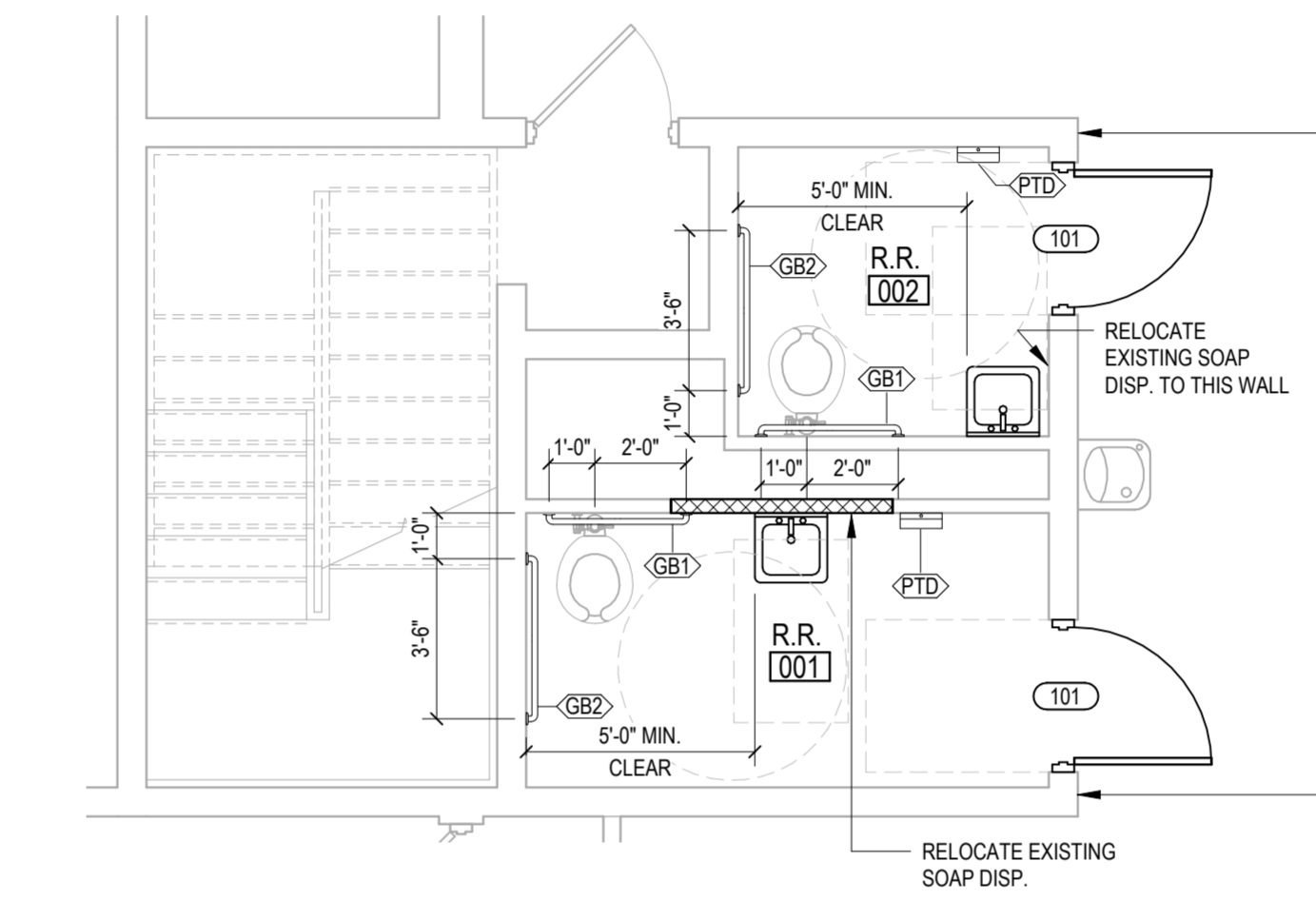
1 TYPICAL DEMOLITION PLAN - FLOORS 2 THRU 8
SCALE: 1/4" = 1'-0"



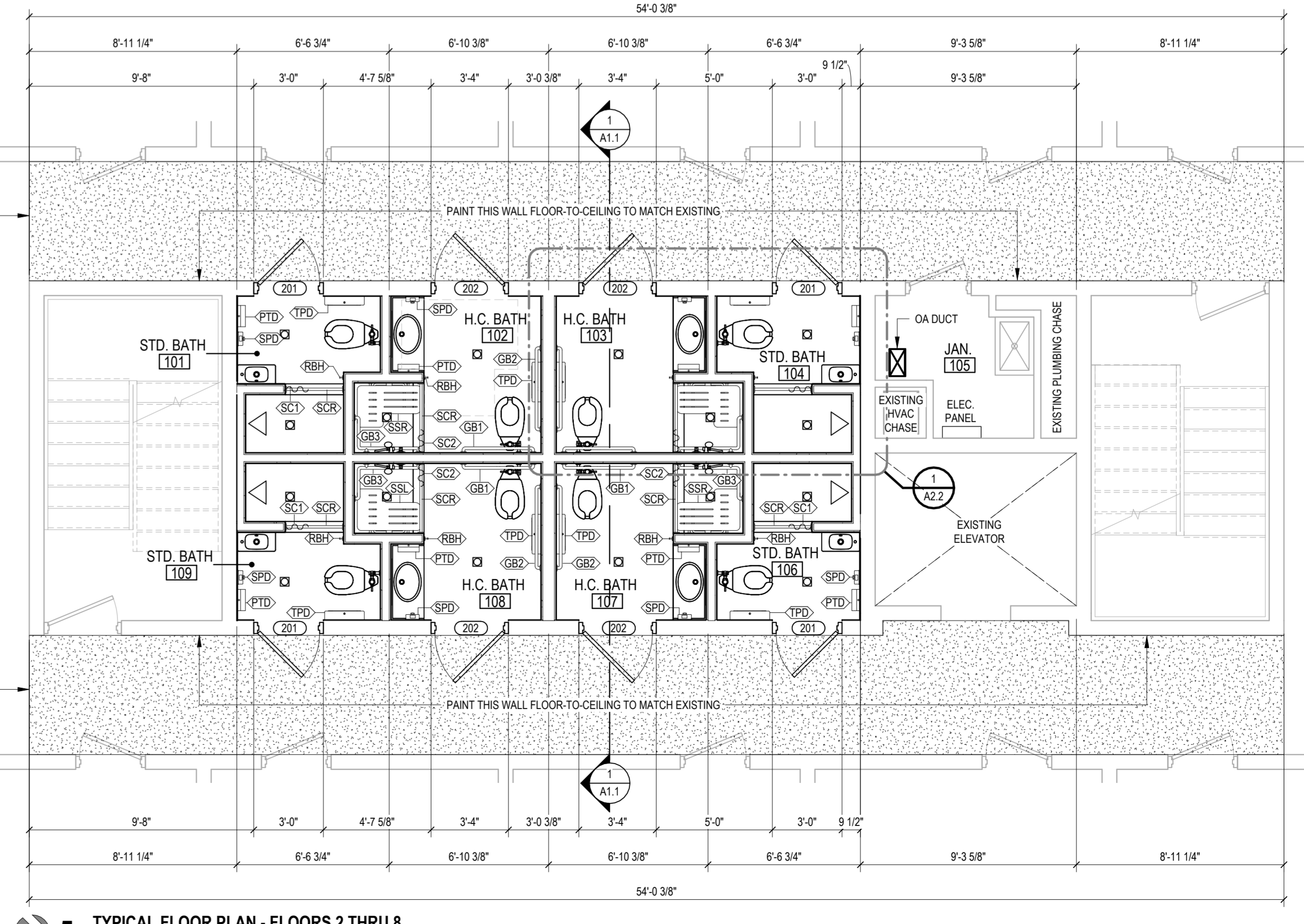
4 TYPICAL PARTITION LAYOUT PLAN - FLOORS 2 THRU 8
SCALE: 1/4" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"



3 FLOOR PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"



5 TYPICAL FLOOR PLAN - FLOORS 2 THRU 8
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES BY SYMBOL

- SAW-CUT AND REMOVE PORTION OF EXISTING DOUBLE-WYTHE, LOAD BEARING CLAY MASONRY WALL AS REQUIRED TO INSTALL NEW SCHEDULED DOOR. REPAIR RESULTING EXPOSED MASONRY SURFACES AS NECESSARY SO THAT NEW SURFACES ARE INDISTINGUISHABLE FROM EXISTING.
- REMOVE EXISTING HOLLOW METAL FRAME AND DOOR COMPLETE.
- SAW-CUT AND REMOVE PORTION OF EXISTING DOUBLE-WYTHE CLAY MASONRY WALL AS REQUIRED TO WIDEN EXISTING OPENING TO RECEIVE NEW SCHEDULED DOOR. REFER TO STRUCTURAL PLANS FOR NEW LINTEL DETAIL AS APPLICABLE. REPAIR RESULTING EXPOSED MASONRY SURFACES AS NECESSARY SO THAT NEW SURFACES ARE INDISTINGUISHABLE FROM EXISTING.
- REMOVE EXISTING MASONRY WALL, FINISH TILE AND ALL HOSTED ELEMENTS / ACCESSORIES COMPLETE.
- REMOVE EXISTING PLUMBING FIXTURE COMPLETE. REMOVE AND RE-ROUTE EXISTING WATER AND/OR DRAIN LINES AS REQUIRED TO INSTALL NEW PLUMBING FIXTURES IN LOCATIONS SHOWN ON PROPOSED FLOOR PLAN. REFER TO PLUMBING PLANS FOR MORE INFORMATION.
- REMOVE EXISTING FLOOR TILE COMPLETE. CLEAN AND PREPARE NEWLY EXPOSED CONCRETE SLAB AS NECESSARY TO RECEIVE NEW SCHEDULED FLOORING.
- REMOVE ANY AND ALL REMAINING WALL TILE FROM EXISTING WALLS AFTER INTERIOR WALL DEMOLITION. CLEAN AND PREPARE INTERIOR FACE OF PERIMETER WALLS AS NECESSARY TO RECEIVE NEW SCHEDULED WALL FINISH.
- REMOVE EXISTING SUSPENDED CEILING SYSTEM, LIGHT FIXTURES AND ALL OTHER CEILING HOSTED ELEMENTS FROM ENTIRE ROOM COMPLETE.
- GRIND 2"x2" AREA OF EXISTING 2" CONCRETE TOPPING AT 2% SLOPE MAXIMUM TO NEWLY CORED FLOOR DRAIN.
- REMOVE EXISTING GYPSUM BOARD CEILING SUBSTRATE FROM EXISTING SUSPENSION GRID AT AREA INDICATED. PRESERVE ALL EXISTING CEILING HOSTED ELEMENTS FOR RE-INSTALLATION.
- DISCONNECT AND SALVAGE EXISTING PLUMBING FIXTURE. EXTEND EXISTING WATER AND SANITARY LINES AS REQUIRED TO REMOUNT EXISTING FIXTURE IN NEW LOCATION INDICATED ON FLOOR PLAN.
- REMOVE PORTION OF EXISTING WALL ONLY AS REQUIRED FOR RE-ROUTING OF EXISTING WATER AND SANITARY LINES AND RELOCATING EXISTING WALL MOUNTED LAVATORY.
- EXISTING TOILET TO REMAIN.
- FUP EXISTING FLUSH CONTROLS TO OPEN SIDE OF RESTROOM, EXISTING TOILET TO REMAIN.
- REMOVE EXISTING TOILET PARTITION COMPLETE.

SYMBOL LEGEND

- XXXX DOOR TAG, SEE DOOR SCHEDULE
- X/XXXX ELEVATION TAG, SEE REFERENCED SHEET
- X/XXX SECTION TAG, SEE REFERENCED SHEET
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW INTERIOR DRYWALL PARTITION

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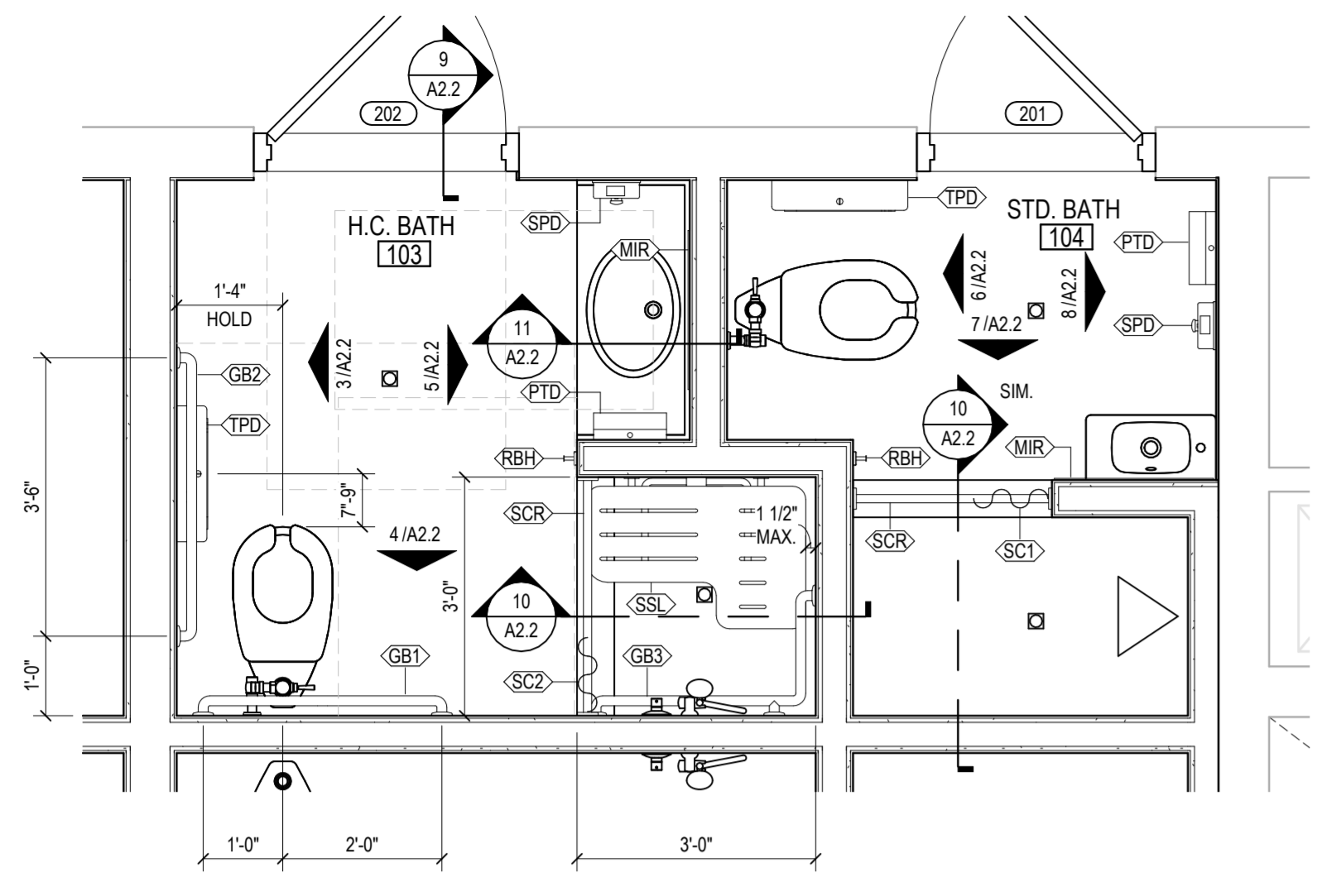
DEMOLITION PLANS, PARTITION LAYOUT
PLAN & FLOOR PLANS - FLOORS 1 THRU 8

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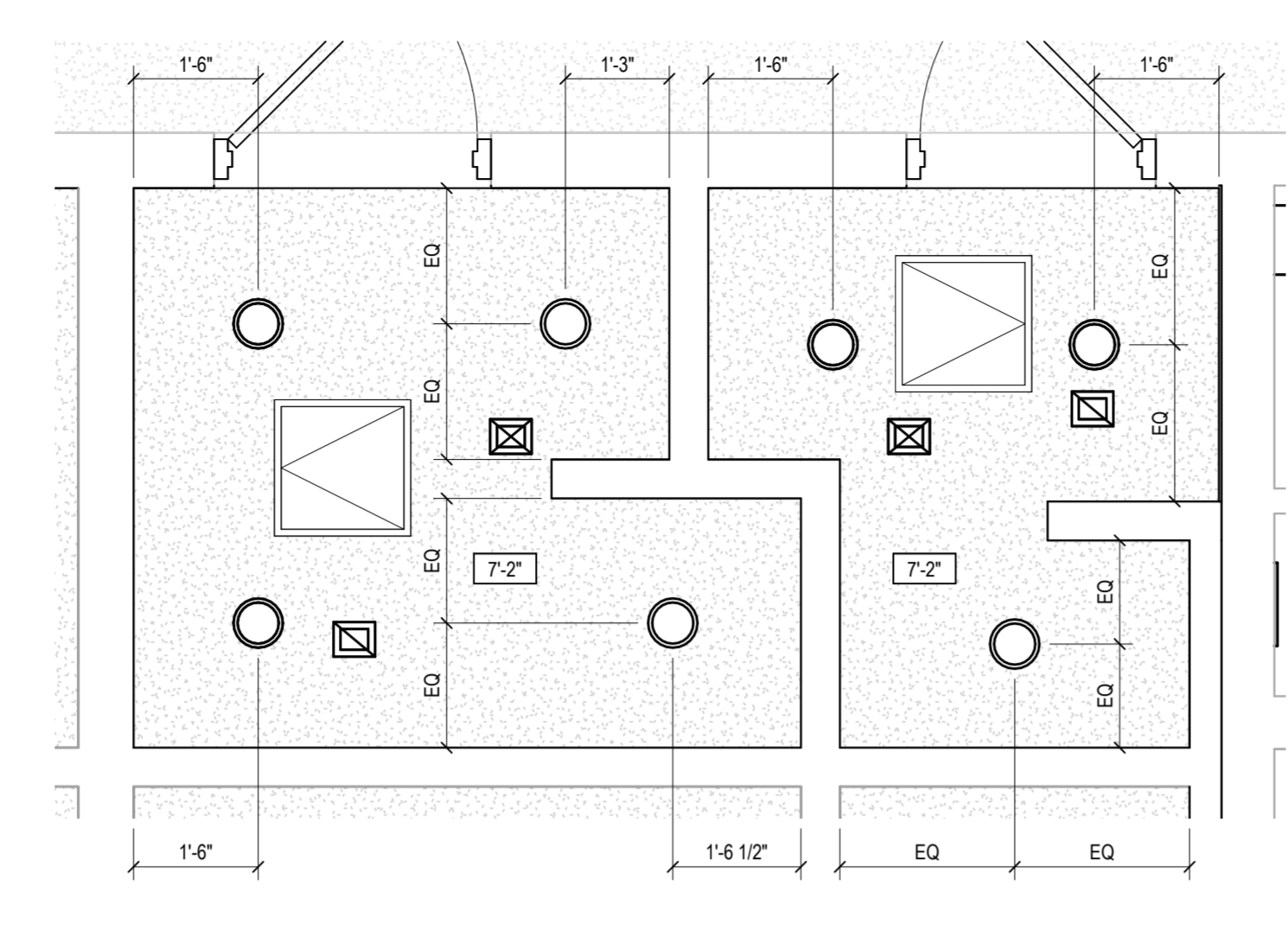
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1 ENLARGED TYPICAL TOILET ROOMS FLOOR PLAN
SCALE: 1/2" = 1'-0"



2 ENLARGED TYPICAL TOILET ROOMS CEILING PLAN
SCALE: 1/2" = 1'-0"

CEILING SYMBOL LEGEND

- X-X' CEILING HEIGHT TAG
- MOISTURE RESISTANT GYPSUM BOARD ON METAL SUSPENSION SYSTEM TYPICAL
- SURFACE MOUNTED LIGHT FIXTURE, SEE LIGHTING PLAN(S)
- EXHAUST GRILLE, SEE MECHANICAL PLAN(S)
- SUPPLY AIR GRILLE, SEE MECHANICAL PLAN(S)

DOOR SCHEDULE

MARK	OPENING		DOOR			FRAME			HARDWARE	MARK	COMMENTS	
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	FRAME MATERIAL	FINISH				TYPE
101	3'-0"	7'-0"	1.34"	INSULATED H.M.	PAINT	A	HOLLOW METAL	PAINT	2	LR	201	FIRST FLOOR RESTROOMS
201	2'-8"	7'-0"	1.34"	INSULATED H.M.	PAINT	A	HOLLOW METAL	PAINT	1	LR.SH.TH	201	STANDARD BATHING ROOMS
202	3'-0"	7'-0"	1.34"	INSULATED H.M.	PAINT	A	HOLLOW METAL	PAINT	1	LR.SH.TH	202	HANDICAPPED BATHING ROOMS

NOTES:

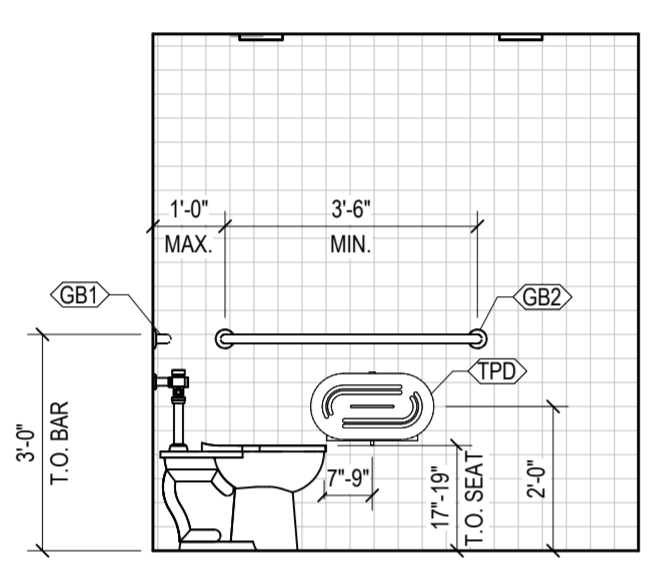
- PROVIDE HINGES, SILENCERS AND STOPS FOR EACH DOOR UNLESS INDICATED OTHERWISE.
- COORDINATE HARDWARE INDICATED WITH OWNER AND CITY REQUIREMENTS.
- HARDWARE PROVIDER TO FULLY COORDINATE KEYING WITH OWNER.

HARDWARE KEY:

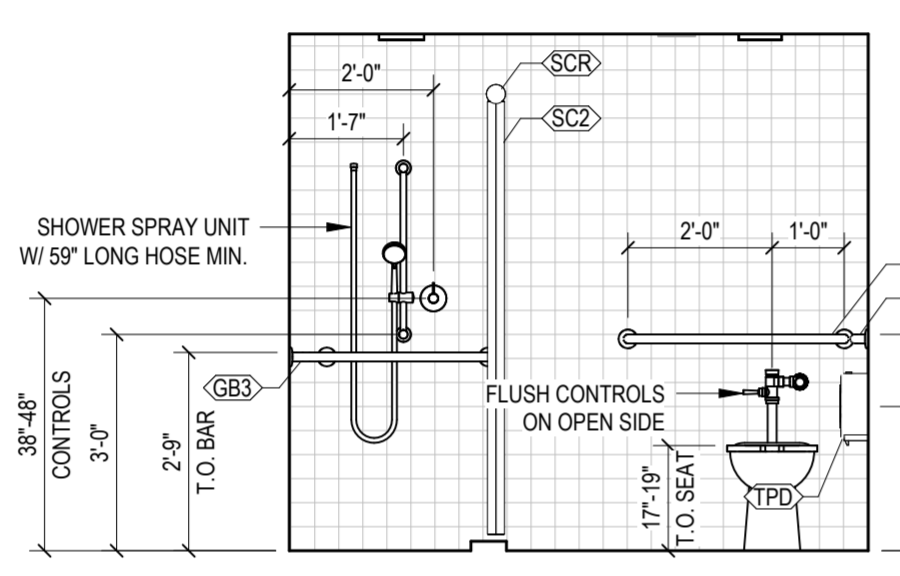
- LP LATCH SET - PASSAGE FUNCTION (ANSI F75) LEVER HANDLE
- LR LATCH SET - PRIVACY FUNCTION (ANSI F76) LEVER HANDLE
- MFR ALL HARDWARE NOT OTHERWISE LISTED IS PROVIDED BY THE MANUFACTURER (SEE SECTION 084113 FOR ALUMINUM ENTRANCE DOORS)
- SH SPRING HINGE (1 PER DOOR)
- TH THRESHOLD - ADA COMPLIANT AND FOR MOISTURE PROTECTION

DOOR & FRAME TYPES:

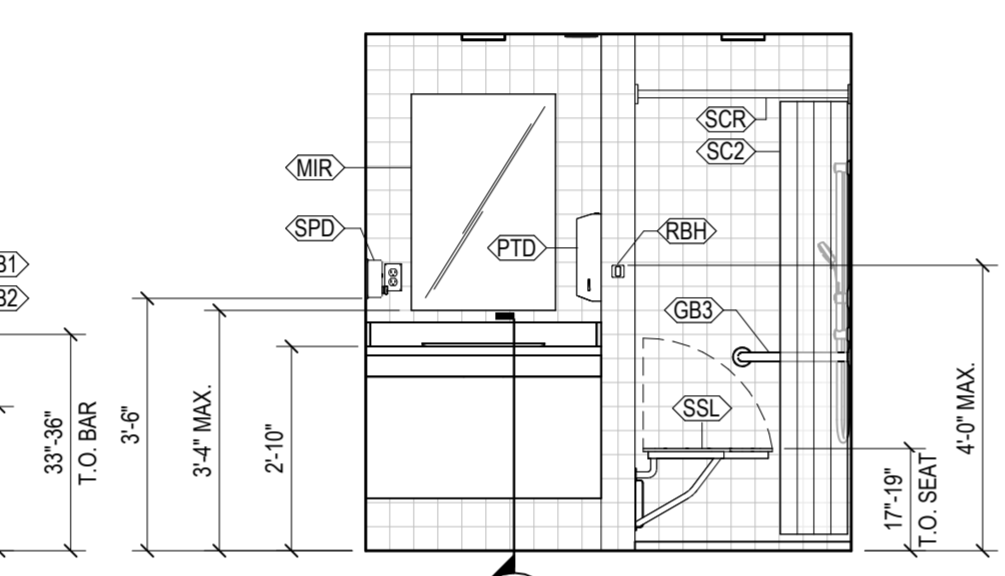
DOOR TYPE 'A' SCALE: NTS
FRAME TYPE '1' SCALE: NTS
FRAME TYPE '2' SCALE: NTS



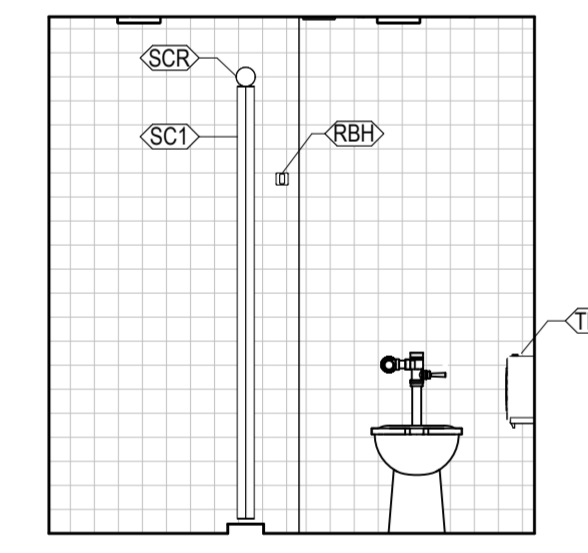
3 H.C. BATH (TOILET)
SCALE: 3/8" = 1'-0"



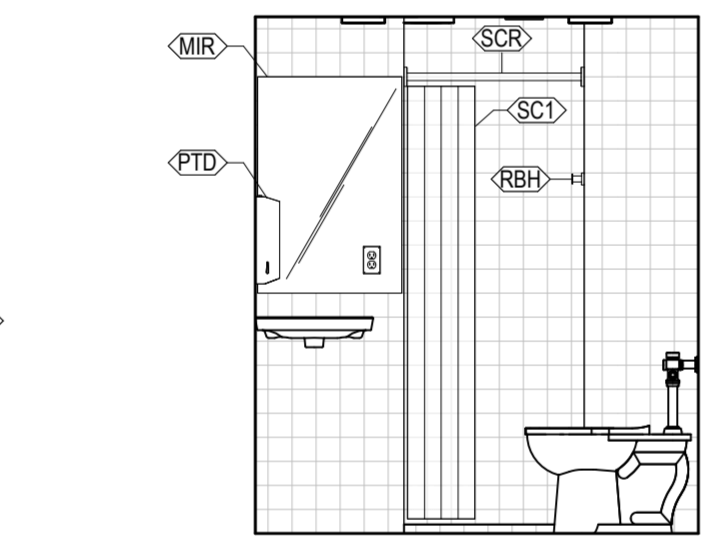
4 H.C. BATH (SHOWER)
SCALE: 3/8" = 1'-0"



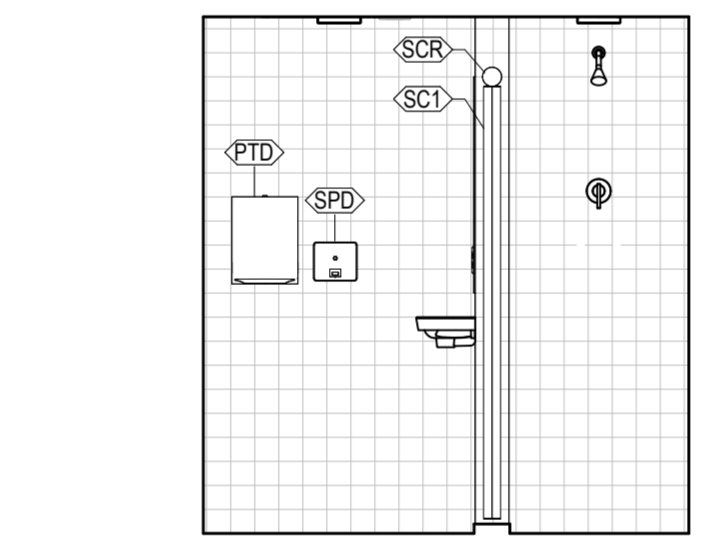
5 H.C. BATH (LAVATORY)
SCALE: 3/8" = 1'-0"



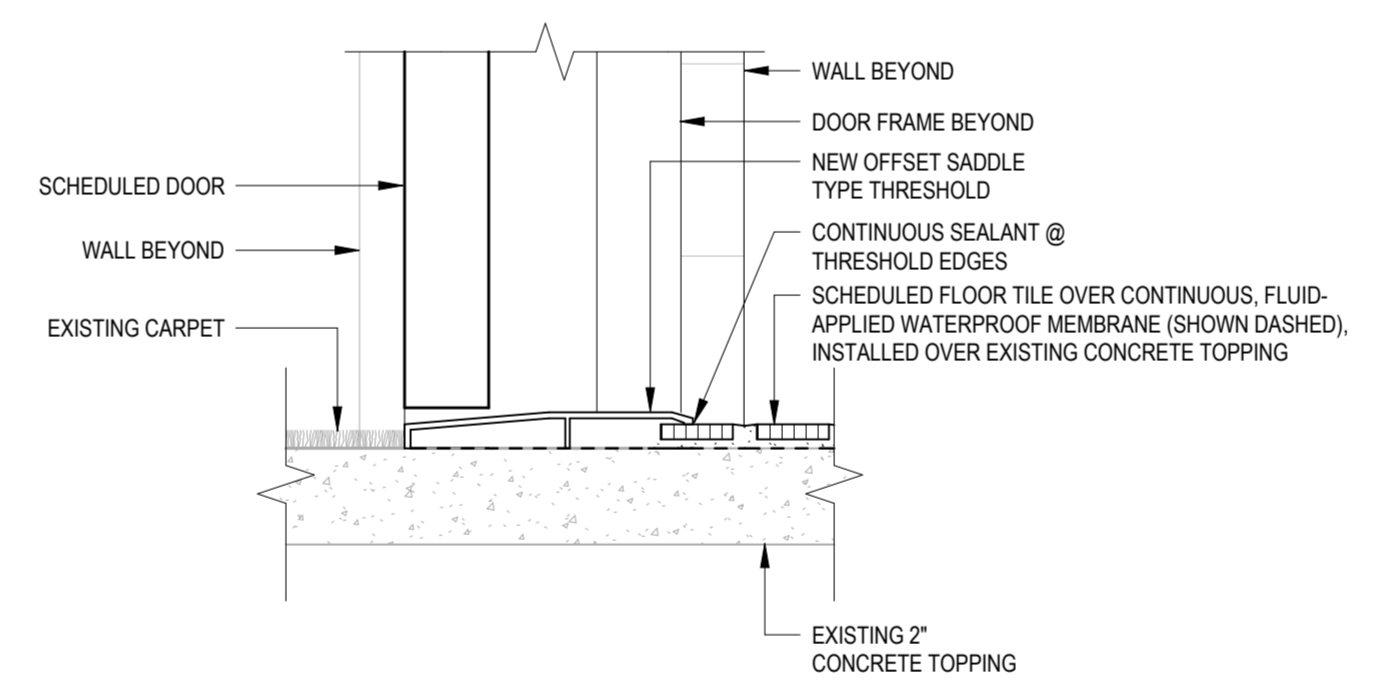
6 STD. BATH (TOILET)
SCALE: 3/8" = 1'-0"



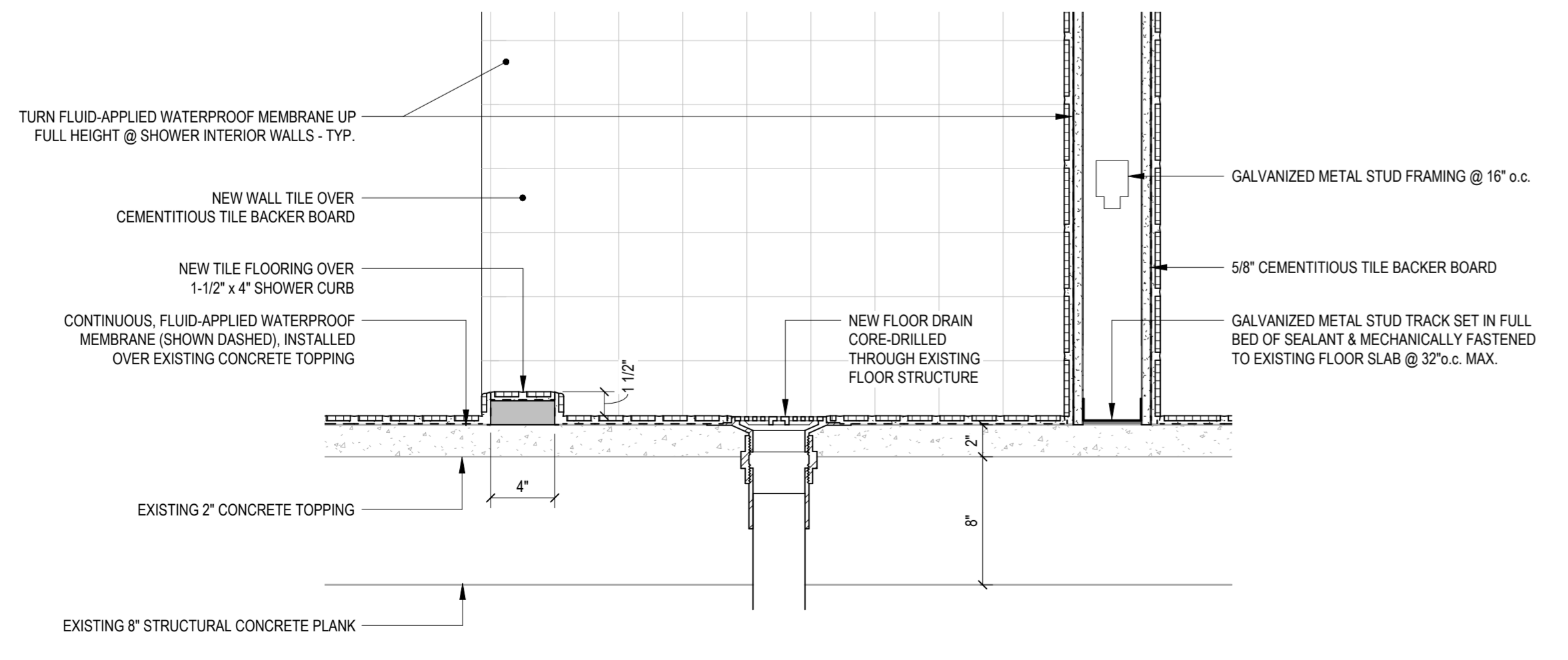
7 STD. BATH (LAVATORY)
SCALE: 3/8" = 1'-0"



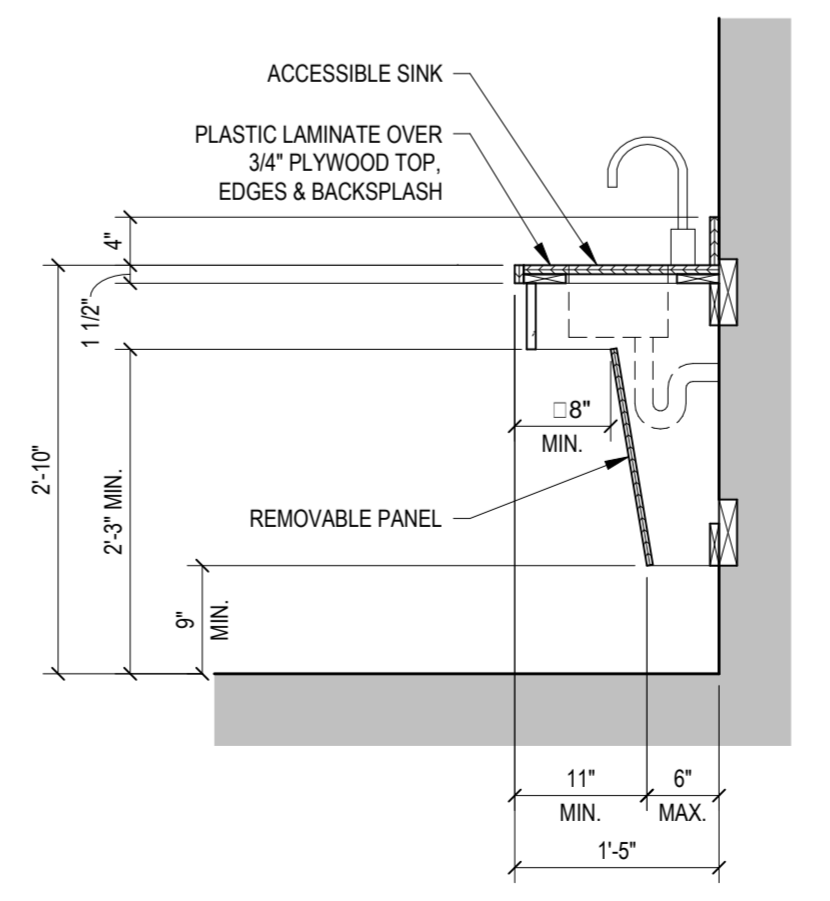
8 STD. BATH (SHOWER)
SCALE: 3/8" = 1'-0"



9 TYPICAL THRESHOLD DETAIL
SCALE: 3" = 1'-0"



10 TYPICAL SECTION @ SHOWER
SCALE: 1 1/2" = 1'-0"



11 TYPICAL ACCESSIBLE KNEESPACE
SCALE: NTS

ROOM FINISH AND AREA SCHEDULE

ROOM NUMBER	ROOM NAME	FINISH				ROOM DATA			ROOM NUMBER	
		FLOOR	BASE	WALL	CEILING	CEILING HEIGHT	Perimeter	Area		Volume
001	R.R.	B	F	H	M	EXISTING	34'-10"	69 SF	617 CF	001
002	R.R.	B	F	H	M	EXISTING	26'-3"	43 SF	386 CF	002
101	STD. BATH	A	D	G	K	7'-2"	29'-2"	34 SF	236 CF	101
102	H.C. BATH	A	D	G	K	7'-2"	32'-4"	48 SF	330 CF	102
103	H.C. BATH	A	D	G	K	7'-2"	32'-4"	48 SF	330 CF	103
104	STD. BATH	A	D	G	K	7'-2"	29'-2"	34 SF	236 CF	104
105	JAN.	B	E	H	M	EXISTING	26'-0"	34 SF	296 CF	105
106	STD. BATH	A	D	G	K	7'-2"	29'-2"	34 SF	236 CF	106
107	H.C. BATH	A	D	G	K	7'-2"	32'-4"	48 SF	330 CF	107
108	H.C. BATH	A	D	G	K	7'-2"	32'-4"	48 SF	330 CF	108
109	STD. BATH	A	D	G	K	7'-2"	29'-2"	34 SF	236 CF	109

FINISH KEY:

FLOOR
 A CERAMIC TILE
 B EXISTING FLOOR TO REMAIN
 C RESERVED

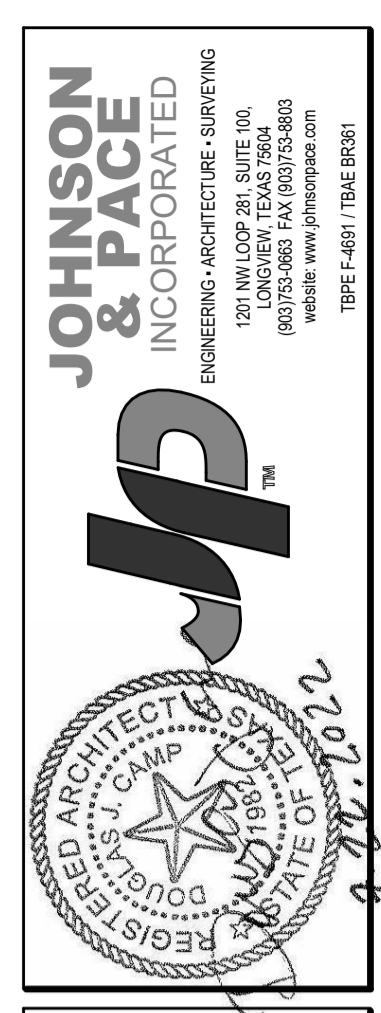
BASE
 D 4" CERAMIC TILE COVE BASE
 E NO BASE - WALL FINISH EXTENDS TO FLOOR
 F EXISTING BASE TO REMAIN

WALLS
 G FULL HEIGHT CERAMIC TILE
 H PAINT EXISTING WALL SURFACES
 J RESERVED

CEILING
 K MOISTURE RESISTANT GYPSUM BOARD ON METAL SUSPENSION GRID
 L NEW GYPSUM BOARD ON EXISTING METAL SUSPENSION GRID
 M PAINT EXISTING CEILING SURFACE

RESTROOM ACCESSORY SCHEDULE

MARK	MANUFACTURER	MODEL	DESCRIPTION
GB1	American Specialties Inc.	3801-36	Snap Flange (1-1/2" O.D) Smooth - Straight Grab Bar, 36"
GB2	American Specialties Inc.	3801-42	Snap Flange (1-1/2" O.D) Smooth - Straight Grab Bar, 42"
GB3	American Specialties Inc.	3874	Snap Flange (1-1/2" O.D) Smooth - Horizontal Grab Bar, 18-1/8" x 33-1/8"
MIR	American Specialties Inc.	8287	24"x36" Mirror - Frameless - Polished Plate Glass - 1/4" Thick
PTD	American Specialties Inc.	0210	Paper Towel Dispenser - Multi, C-Fold - Surface Mounted
RBH	American Specialties Inc.	7340-S	Robe Hook - Single - Satin Stainless Steel - Surface Mounted
SC1	American Specialties Inc.	1200-V36 + 1200-SHU x 6	Shower Curtain - 8 Ga. White Vinyl - 36"W x 72"H + 6 Shower Curtain Hooks (1200-V36 + 1200-SHU x 6)
SC2	American Specialties Inc.	1200-V42 + 1200-SHU x 7	Shower Curtain - 8 Ga. White Vinyl - 42"W x 72"H + 7 Shower Curtain Hooks (1200-V42 + 1200-SHU x 7)
SCR	American Specialties Inc.	1204-2 + 1204-1	Shower Curtain Rod - 1-1/4" Dia. Bar, Stainless Steel - Shower Curtain Rod End Flanges - One Pair
SPD	American Specialties Inc.	9343	Profile™ - Soap Dispenser - Liquid - Surface Mounted
SSL	American Specialties Inc.	8206-L	Folding Shower Seat - L-Shaped, Left Hand, ADA - Solid Phenolic, White - 33"W
SSR	American Specialties Inc.	8206-R	Folding Shower Seat - L-Shaped, Right Hand, ADA - Solid Phenolic, White - 33"W
TPD	American Specialties Inc.	0039	Toilet Tissue Dispenser - Low Profile, Jumbo Roll - Surface Mounted



KILGORE COLLEGE
STARK HALL R.R. RENOVATION
 607 ELDER STREET
 KILGORE, TX 75662

REVISIONS

NO.	DATE	BY	REVISION
0	06/29/2022	JCT	ISSUED FOR PERMIT
1	07/22/2022	JCT	ISSUED FOR BIDDING

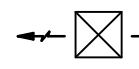


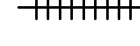
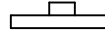
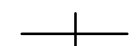



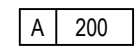

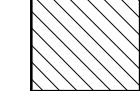

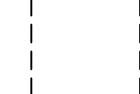
ENLARGED PLAN, INTERIOR ELEVATIONS, SCHEDULES & DETAILS
 ISSUED FOR BIDDING

PROJECT INFORMATION

PROJECT NO.	2024-008
DATE	07/22/2022
SCALE	As Indicated
PROJECT NO.	A2.2
SHEET NO.	1

MECHANICAL ABBREVIATIONS					
A/C	AIR CONDITIONING	EAT	ENTERING AIR TEMPERATURE	NO	NORMALLY OPEN; NUMBER
AC	ACETYLENE	NTS	NOT TO SCALE		
ADA	AMERICANS WITH DISABILITIES ACT	EER	ENERGY EFFICIENCY RATIO	OA	OUTSIDE AIR
AFF	ABOVE FINISHED FLOOR	EFF	EFFICIENCY	OD	OUTSIDE DIAMETER
AFG	ABOVE FINISHED GRADE	EMCS	ENERGY MONITORING AND CONTROL SYSTEM	P	POLE
AFUE	ANNUAL FUEL UTILIZATION EFFICIENCY	EWC	ELECTRIC WATER COOLER	PH	PHASE
AR	ARGON	EWT	ENTERING WATER TEMPERATURE	RA	RETURN AIR
ARCH	ARCHITECTURE / ARCHITECTURAL	F	FAHRENHEIT	RPM	REVOLUTIONS PER MINUTE
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS	FLA	FULL LOAD AMPS	SA	SUPPLY AIR
BAS	BUILDING AUTOMATION SYSTEM	FT	FEET, FOOT	SEER	SEASONAL ENERGY EFFICIENCY RATIO
BFF	BELOW FINISHED FLOOR	GAL	GALLON	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOC.
BFG	BELOW FINISHED GRADE	GPM	GALLONS PER MINUTE		
BG	BELOW GRADE	HP	HORSEPOWER	SP	STATIC PRESSURE
BSB	BRANCH SELECTOR BOX	HTG	HEATING	SQ FT	SQUARE FEET
BTUH	BRITISH THERMAL UNIT PER HOUR	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	SS	SANITARY SEWER; STAINLESS STEEL
C	CELSIUS	HW	DOMESTIC HOT WATER	T-STAT	THERMOSTAT
CA	COMPRESSED AIR	HWR	DOMESTIC HOT WATER RETURN	TAS	TEXAS ACCESSIBILITY STANDARD
CD	CONDENSATE DRAIN	HZ	HERTZ	UON	UNLESS OTHERWISE NOTED
CFM	CUBIC FEET PER MINUTE	IN	INCHES		
CHW	CHILLED WATER	KW	KILOWATT	V	VOLT / VENT
CHWR	CHILLED WATER RETURN	LAT	LEAVING AIR TEMPERATURE	VAV	VARIABLE AIR VOLUME
CHWS	CHILLED WATER SUPPLY	LWT	LEAVING WATER TEMPERATURE	VD	VOLUME DAMPER
CO	CARBON MONOXIDE	MBH	THOUSAND BTUH	VFD	VARIABLE FREQUENCY DRIVE
CO2	CARBON DIOXIDE	MCA	MINIMUM CIRCUIT AMPACITY	VTR	VENT THRU ROOF
COOP	COEFFICIENT OF PERFORMANCE	MCB	MAIN CIRCUIT BREAKER	W	WATT / WASTE
CU	CONDENSING UNIT	MIN	MINIMUM	WB	WET BULB
CW	CONDENSER WATER	NG	NATURAL GAS	WC	WATER COLUMN
DB	DRY BULB	MLO	MAIN LUG ONLY	WG	WATER GAUGE
dB	DECIBELS	MOCP	MAXIMUM OVERCURRENT PROTECTION		
DCW	DOMESTIC COLD WATER	NC	NORMALLY CLOSED; NOISE CRITERIA		
DDC	DIRECT DIGITAL CONTROL	NF	NON-FUSED		
DW	DOMESTIC WATER	NFPA	NATIONAL FIRE PROTECTION ASSOC.		
DX	DIRECT EXPANSION				
EA	EXHAUST AIR				

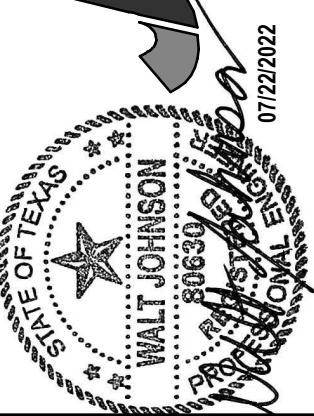
MECHANICAL NOTES:
1. THE HVAC SYSTEM SHOWN ON THE DRAWINGS IS ONLY DIAGRAMMATIC. ALL ITEMS REQUIRED TO MAKE THE SYSTEM COMPLETE AND IN SAFE WORKING ORDER SHALL BE PROVIDED. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES. EQUIPMENT SHOWN ON THE FLOOR PLANS AND ELEVATIONS ILLUSTRATE THE ARRANGEMENT AND SPACE ALLOCATIONS. THE CONTRACTOR SHALL VERIFY THE SPACE REQUIREMENTS FOR EACH SYSTEM COMPONENT USING MANUFACTURER CERTIFIED SHOP DRAWINGS AND MAKE THE NECESSARY ADJUSTMENTS IN EQUIPMENT PLACEMENT AND CONNECTION IN ORDER TO ACCOMMODATE THE EXACT EQUIPMENT TO BE INSTALLED.
2. CONTRACTOR IS RESPONSIBLE FOR FILING/PAYING FOR PERMITS AND CERTIFICATES OF INSPECTION THAT PERTAIN TO WORK DONE BY CONTRACTOR. CONTRACTOR SHALL DELIVER COPIES OF ALL PERMITS AND CERTIFICATES OF INSPECTION TO OWNER/CONSTRUCTION MANAGER.
3. CONTRACTOR SHALL PROVIDE JOB SPECIFIC SUBMITTALS ON ALL SCHEDULED EQUIPMENT AND MISCELLANEOUS DEVICES INSTALLED UNDER THIS SCOPE OF WORK. SUBMITTALS SHALL INCLUDE BUT NOT BE LIMITED TO PRODUCT DATA, DIMENSIONED DRAWINGS, PERFORMANCE DATA, ELECTRICAL DATA, CERTIFICATIONS.
4. THE HVAC SYSTEM SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE INTERNATIONAL MECHANICAL CODE, INTERNATIONAL ENERGY CONSERVATION CODE, AND ANY OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
5. ALL WORK AND MATERIALS SHALL BE GUARANTEED FREE FROM DEFECTS FOR A MINIMUM PERIOD OF ONE YEAR UNLESS NOTED OTHERWISE IN SCHEDULES OR SPECIFICATIONS. THE WARRANTY PERIOD SHALL BEGIN AT THE DATE OF BENEFICIAL OCCUPANCY OF THE FACILITY.
6. AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A COMPLETE SET OF AS-BUILDS, OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT AND SHALL INSTRUCT OWNER'S MAINTENANCE PERSONNEL ON ALL OPERATING PROCEDURES.
7. ALL ROOF AND WALL PENETRATIONS MADE UNDER THIS SCOPE OF WORK SHALL BE MADE AND FLASHED BY THIS CONTRACTOR UNLESS NOTED OTHERWISE.
8. UNLESS NOTED OTHERWISE, ALL HANGERS, RODS, ANGLES, STRUT CHANNELS, ATTACHMENTS, ANCHORS, STRAPS, BOLTS, NUTS, WASHERS AND SCREWS SHALL BE GALVANIZED OR BE OF SIMILAR MATERIAL AS COMPONENT BEING SUPPORTED. ALL ALL-THREAD RODS SHALL HAVE EXCESS LENGTH CUT OFF TO A MAXIMUM LENGTH OF 1" ABOVE/BELOW ATTACHMENT.
9. ALL EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
10. AIR HANDLING EQUIPMENT SHALL NOT BE OPERATED WITHOUT SPECIFIED AIR FILTRATION IN PLACE. ALL FILTERS SHALL BE REPLACED PRIOR TO AIR BALANCE.
11. INSTALL COMMERCIAL GRADE, FIRE RESISTANT, FLEXIBLE DUCT CONNECTORS AT ALL PIECES OF MOTORIZED AIR HANDLING EQUIPMENT.
12. ALL DUCTWORK AND PIPING SHALL BE INSTALLED PARALLEL/PERPENDICULAR TO BUILDING COLUMN LINES UNLESS NOTED OTHERWISE.
13. ALL DUCTWORK SHALL BE G-90 GALVANIZED SHEET METAL AND SHALL COMPLY WITH THE LATEST EDITION OF SMACNA LOW PRESSURE +/- 2" W.G. DUCT CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE.
14. ALL BRANCH DUCT TAKE-OFFS SHALL BE INSTALLED AS SHOWN ON MECHANICAL DETAIL SHEETS.
15. ALL DUCT DIMENSIONS SHOWN ON PLANS ARE INTERNAL UNLESS NOTED OTHERWISE.
16. ALL RECTANGULAR DUCT ELBOWS SHALL BE LONG RADIUS OR BE INSTALLED WITH TURNING VANES.
17. ALL ROUND DUCT ELBOWS SHALL BE RADIUS ELBOWS.
18. AFTER THE DUCTWORK IS INSTALLED AND SEALED, AND BEFORE IT IS INSULATED, A TRAVERSE SHALL BE PERFORMED AS NEAR THE FAN AS POSSIBLE. THAT VALUE SHALL BE COMPARED TO THE TOTAL AIRFLOW AS MEASURED AT THE GRILLES. THIS TEST SHALL BE PERFORMED BEFORE THE INSULATION IS APPLIED AND IS NOT PART OF THE FINAL TEST AND BALANCE. THIS TEST DOES NOT NEED TO BE PERFORMED BY THE TEST AND BALANCE CONTRACTOR.
19. PROVIDE AND INSTALL SMOKE DETECTORS IN THE RETURN AIR PLENUM OF EACH UNIT AHEAD OF THE FRESH AIR INTAKE AS APPLICABLE BY CODE.
20. ALL INDOOR SUPPLY, RETURN, OUTSIDE AIR DUCTS, AND ANY INDOOR DUCTS SERVING AN ENERGY RECOVERY UNIT SHALL BE INSULATED WITH 2" 1 P.C.F., R-6 FOIL FACED DUCT WRAP. ALL SEAMS AND JOINTS SHALL BE STAPLED. A VAPOR BARRIER OF 3" WIDE U.L. LISTED FOIL TAPE SHALL BE APPLIED TO ALL SEAMS AND JOINTS.
21. ALL OUTDOOR SUPPLY, RETURN DUCTS, AND ANY OUTDOOR DUCTS SERVING AN ENERGY RECOVERY UNIT SHALL BE INSULATED WITH MINIMUM R-8 FOIL FACED, RIGID BOARD INSULATION AND WRAPPED WITH AN ALUMINUM JACKET. A VAPOR BARRIER SHALL BE APPLIED TO ALL INSULATION SEAMS AND JOINTS WITH 3" WIDE U.L. LISTED FOIL TAPE. ALL SEAMS AND JOINTS OF ALUMINUM JACKET SHALL BE SEALED WITH SILICONE CAULKING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
22. PROVIDE AND INSTALL FIRE/SMOKE DAMPERS AS REQUIRED BY THE INTERNATIONAL MECHANICAL CODE. INSTALL LOW LEAK ACCESS DOORS WITH VISION PANEL AT EACH DAMPER IN ACCESSIBLE LOCATION TO ALLOW FOR MAINTENANCE, INSPECTION AND TESTING. PROVIDE 3"x3" RED VINYL LABEL FOR EACH ACCESS DOOR WITH MINIMUM 1" WHITE LETTERS "FIRE/SMOKE DAMPER ACCESS".
23. DUCT RUN OUTS TO DIFFUSERS SHALL BE THE SAME SIZE AS THE DIFFUSER NECK UNLESS NOTED OTHERWISE.
24. R-6 INSULATED FLEX DUCT SHALL BE INSTALLED AT EACH CEILING DIFFUSER/GRILLE. FLEX DUCT SHALL NOT EXCEED 5' IN LENGTH (U.N.O.) AND SHALL NOT MAKE ANY BENDS GREATER THAN 30°. FLEX DUCT SHALL NOT PENETRATE THROUGH ANY ROOF, FLOOR OR WALLS AND SHALL BE INSTALLED FREE OF KINKS AND SAGS.
25. INSULATE BACK PANS OF ALL CEILING MOUNT GRILLES/DIFFUSERS WITH R-6 FOIL FACED DUCT WRAP. A VAPOR BARRIER SHALL BE APPLIED TO ALL SEAMS AND JOINTS USING 3" WIDE U.L. LISTED FOIL TAPE.
26. PAINT THE INSIDE OF ALL GALVANIZED RETURN/EXHAUST AIR GRILLE BOOTS FLAT BLACK SO THAT NO METAL IS VISIBLE FROM INSIDE ROOM.
27. HVAC CONTRACTOR SHALL HIRE AN INDEPENDENT CERTIFIED BALANCE CONTRACTOR TO PROVIDE A COMPLETE AIR AND HYDRONIC BALANCE OF ALL SYSTEMS AT THE END OF THE PROJECT. BALANCE REPORT SHALL INCLUDE BUT NOT BE LIMITED TO EQUIPMENT NAME PLATE DATA, MODEL NUMBER, SERIAL NUMBER, MOTOR DATA, FAN RPM, BELT/SPLLEY SIZES, TOTAL AIRFLOW, FILTER A.P.D., COIL A.P.D. TOTAL SYSTEM STATIC PRESSURE, AIRFLOW AT EACH GRILLE, TOTAL OUTSIDE AIRFLOW, TOTAL WATER FLOW, TOTAL W.P.D.
28. SEAL ALL DUCT AND PIPE PENETRATIONS THROUGH FIRE/SMOKE BARRIERS AS PER I.M.C.
29. SEAL ALL DUCTS WITH U.L. 181 WATER BASED FIBER REINFORCED DUCT SEALER TO MEET SEAL CLASS 'A' PER THE LATEST EDITION OF SMACNA "HVAC DUCT CONSTRUCTION STANDARDS METAL AND FLEXIBLE".
30. ALL FRESH AIR INTAKES MUST BE AT LEAST 10' FROM SEWER VENTS, EXHAUST OUTLETS, AND ADJACENT BUILDINGS OR PROPERTY LINES UNLESS NOTED OTHERWISE.
31. PROVIDE AND INSTALL VOLUME DAMPERS FOR ALL SUPPLY, RETURN AND EXHAUST DUCT RUN OUTS TO DIFFUSERS/GRILLES. THE DAMPERS SHALL BE LOCATED AS NEAR AS POSSIBLE TO THE BRANCH TAKE OFF. ALL DAMPERS SHALL BE CONSTRUCTED WITH 3/8" CONTINUOUS ROD, 1 1/2" STAND-OFF AND LOCKING QUAD.
32. PROVIDE AND INSTALL A MANUAL VOLUME DAMPER AND MOTORIZED DAMPER IN EACH OUTSIDE AIR BRANCH DUCT SERVING A FAN COIL UNIT/FURNACE.
33. CONTRACTOR SHALL INCLUDE CONDENSATE DRAIN PIPING TO EACH HVAC UNIT. ALL CONDENSATE DRAIN PIPING SHALL BE INSULATED WITH MINIMUM 3/4" THICK ARMAFLEX PIPE INSULATION WITH GLUED SEAMS AND JOINTS.
34. PROVIDE AND INSTALL DIELECTRIC UNIONS AND/OR FLANGES AT ALL PIPING MATERIAL TRANSITIONS TO DISSIMILAR MATERIAL.
35. ALL PIPING SHALL BE SUPPORTED AS PER ASME B31 CODE. VERTICAL PIPING SHALL BE SUPPORTED AT EACH FLOOR LEVEL WITH PIPE RISER CLAMPS.
36. PROVIDE AND INSTALL PIPING IDENTIFICATION WITH PREFORMED PLASTIC PIPE WRAPS EQUAL TO CRAFTMARK "SPECMARK" CONFORMING TO ASME (ANSI) 2007 SCHEME FOR THE IDENTIFICATION OF PIPING SYSTEMS. LABELS SHALL CONTAIN SYSTEM AND FLOW DIRECTION. LABELS SHALL BE PLACED IN EACH ROOM, AT MAXIMUM 50' INTERVALS, NEAR EACH VALVE AND AT EACH BRANCH.
37. PROVIDE AND INSTALL 4"x24" VINYL DUCT LABELS WITH 2 1/4" LETTERS FOR ALL DUCT SYSTEMS. LABELS SHALL BE BLUE WITH WHITE LETTERS FOR SUPPLY AIR, GREEN WITH WHITE LETTERS FOR ALL RETURN AIR, MAKE UP AIR, EXHAUST AIR, RELIEF AIR AND OUTSIDE AIR. LABELS SHALL BE INSTALLED IN EACH ROOM, AT MAXIMUM SPACING OF 50' AND ON EACH SIDE OF WALL PENETRATIONS. DO NOT LABEL EXPOSED DUCT UNLESS DIRECTED BY ARCHITECT.
38. PROVIDE AND INSTALL ENGRAVED PLASTIC NAME PLATES FOR EACH PIECE OF MECHANICAL EQUIPMENT. NAME PLATE SHALL INCLUDE AS APPLICABLE: UNIT I.D., MOTOR VOLTAGE, PHASE, H.P., DESIGN AIRFLOW, DESIGN STATIC, SIZE AND QUANTITY OF FILTERS, NOMINAL TONNAGE, NOMINAL BTU (KW) INPUT, RATED GAS PRESSURE, DESIGN WATER FLOW, DESIGN HEAD. LETTERS SHALL BE A MINIMUM HEIGHT OF 3/8".
39. ALL REFRIGERANT PIPING SHALL BE TYPE 'L' HARD DRAWN 'ACR' COPPER PIPING AND SHALL BE INSTALLED USING CONTINUOUS NITROGEN PURGE. PIPING SHALL BE INSTALLED ON STRUT CHANNEL TRAPEZE PIPE HANGERS AND SHALL BE CLAMPED DIRECTLY TO STRUT CHANNEL WITH PIPE CLAMPS. PIPE CLAMPS SHALL NOT PENETRATE PIPE INSULATION.
40. ALL REFRIGERANT PIPING INSTALLED INSIDE WALL CAVITY SHALL BE TYPE 'L' ANNEALED 'ACR' AND BE INSTALLED IN A CONTINUOUS SCHEDULE 40 PVC PIPE SLEEVE. TERMINATE SLEEVE 4" BEYOND PIPING EXIT OF WALL CAVITY. NO JOINTS SHALL BE ALLOWED INSIDE SLEEVE.
41. INSULATE ALL REFRIGERANT PIPING WITH 1" THICK ARMAFLEX PIPE INSULATION WITH GLUED SEAMS AND JOINTS.
42. ALL OUTDOOR REFRIGERANT PIPING INSULATION SHALL BE WRAPPED WITH AN ALUMINUM JACKET. ALL SEAMS AND JOINTS OF ALUMINUM JACKET SHALL BE SEALED WITH SILICONE CAULKING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
43. ALL THERMOSTATS OR OPERABLE CONTROLS SHALL BE INSTALLED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
44. MECHANICAL CONTRACTOR SHALL PROVIDE LOW VOLTAGE WIRING, TRANSFORMERS, ETC FOR HVAC CONTROLS. COORDINATE ALL LINE VOLTAGE REQUIREMENTS WITH ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL LINE VOLTAGE CONNECTIONS.

MECHANICAL LEGEND AND SYMBOLS			
	SUPPLY AIR DIFFUSER - ARROWS INDICATE PATTERN.	12"0	ROUND DUCTWORK SIZE (INCHES)
	RETURN/TRANSFER AIR GRILLE	12"12	RECTANGULAR DUCTWORK SIZE (INCHES). FIRST NUMBER IS SIDE SHOWN
	EXHAUST GRILLE		FLEXIBLE DUCT (5'-0" MAXIMUM LENGTH)
	SUPPLY AIR PLENUM SLOT DIFFUSER		DUCTWORK SIZE TRANSITIONS
	THERMOSTAT ("X" INDICATES UNIT CONTROLLED)		TAP, PROVIDE MANUAL BALANCING DAMPER
	MOTORIZED DAMPER		DIFFUSER/GRILLE/REGISTER LABEL: "A" - TYPE/DESIGNATION "200" - AIRFLOW (CFM)
	MANUAL VOLUME (BALANCE) DAMPER		MECHANICAL EQUIPMENT
	FD - FIRE DAMPER		MECHANICAL EQUIPMENT ABOVE

SHEET INDEX	
M0.0	MECHANICAL LEGEND & GENERAL NOTES
M1.1	1st FLOOR MECHANICAL PLAN
M1.2	2nd THRU 8th FLOOR MECHANICAL PLAN
M1.3	ROOF MECHANICAL PLAN
M3.0	MECHANICAL SCHEDULES & DETAILS

IMPORTANT INFORMATION
SHOULD THE DRAWINGS OR SPECIFICATIONS CONFLICT WITHIN THEMSELVES, OR WITH EACH OTHER, THE REQUIREMENT WITH THE GREATEST QUANTITY AND/OR THE HIGHEST QUALITY SHALL PREVAIL. THE DECISION OF THE ENGINEER OF RECORD FOR THE SYSTEM BEING INSTALLED SHALL BE FINAL.
ALL WRITTEN NOTES ON THIS SHEET AND ALL OTHER SHEETS CONTAINED IN THESE PLANS SHALL BE READ AND UNDERSTOOD BY THE GENERAL CONTRACTOR AND ALL SUB-CRONTACTORS. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO COORDINATE WITH EACH OTHER TO DELIVER COMPLETE, FUNCTIONING SYSTEMS AS SHOWN IN THESE PLANS.

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MECHANICAL LEGEND & GENERAL NOTES

ISSUED FOR BIDDING

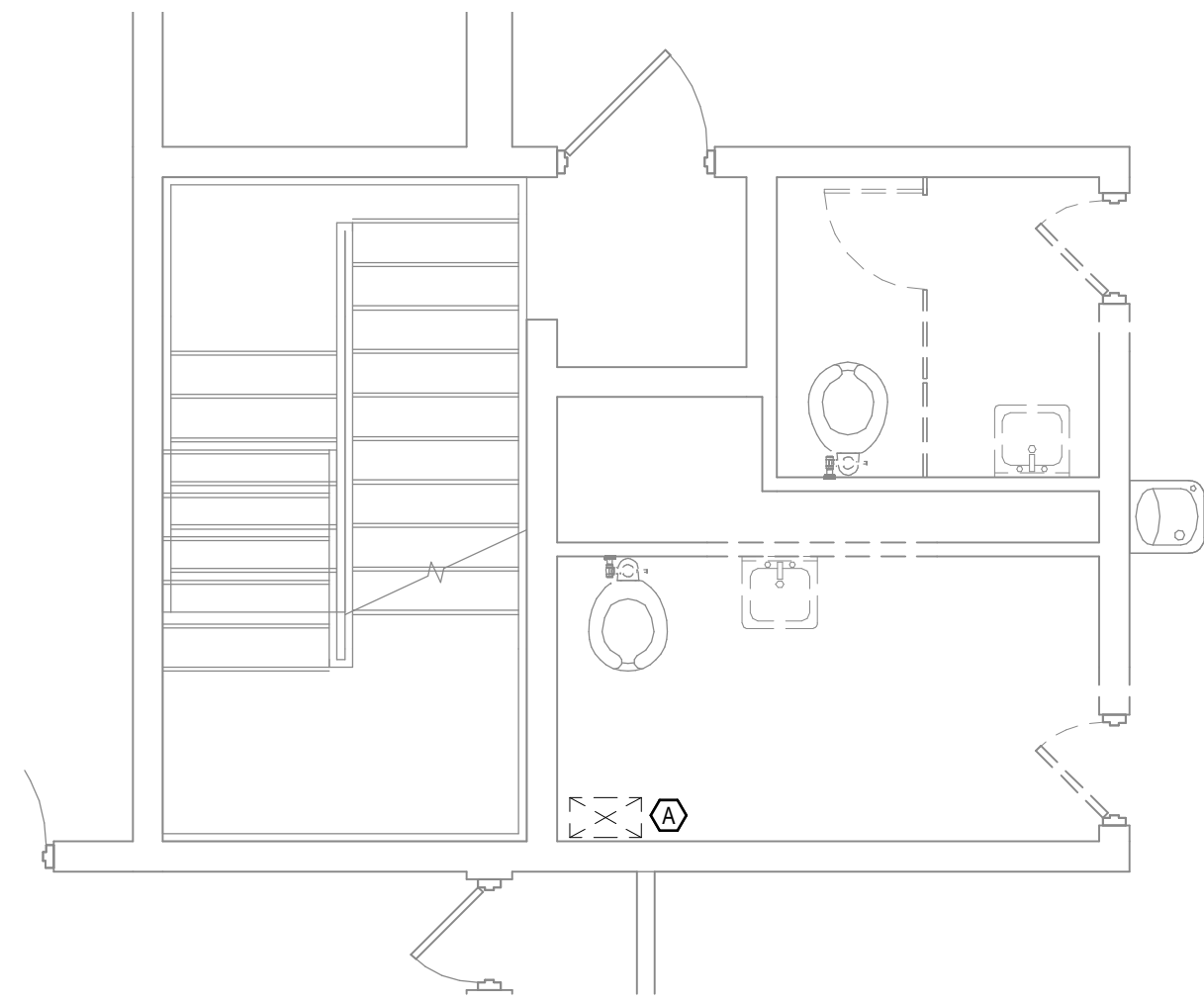
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PROJECT:	WLI	WLI	
DATE:	07/22/2022	SCALE:	
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PROJECT:	WLI	WLI	



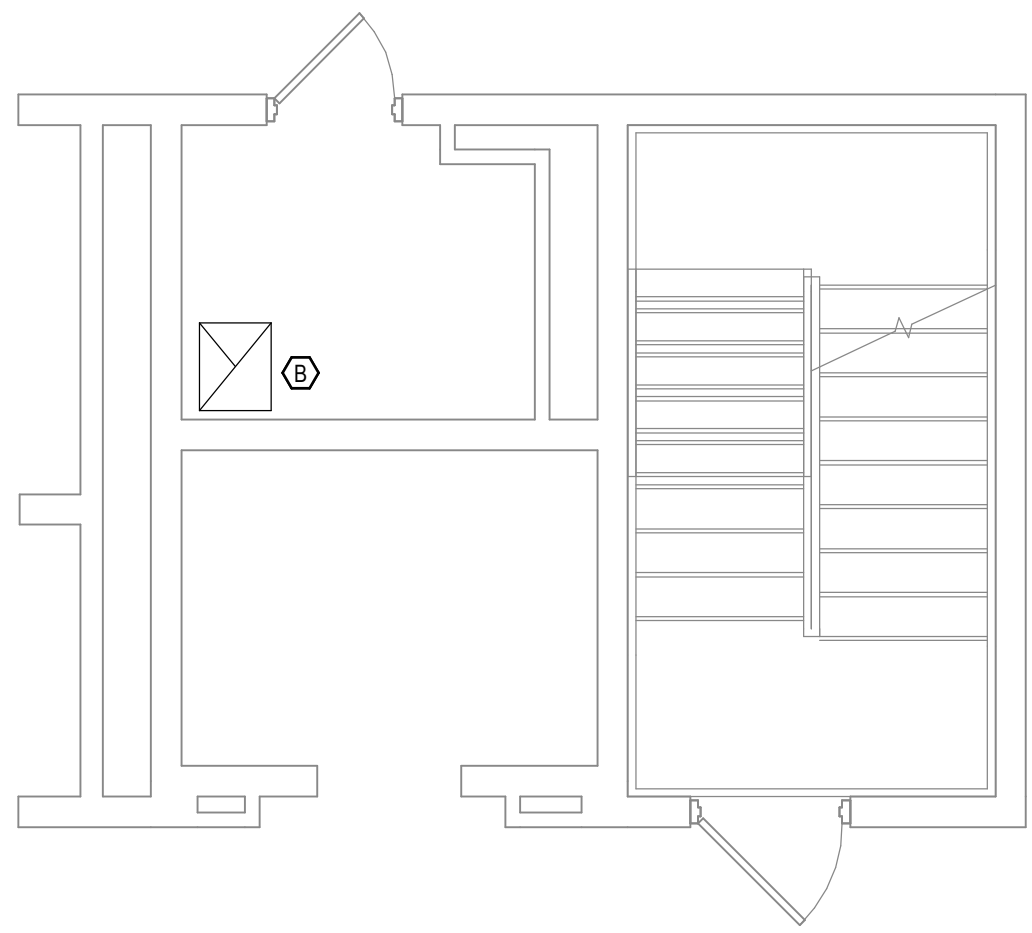
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File Name: F:\Projects\2024 Kilgore College\2024-08-08 Stalk Hall Renovation\CADMET\2024-01 - Stalk Hall - MEP.dwg
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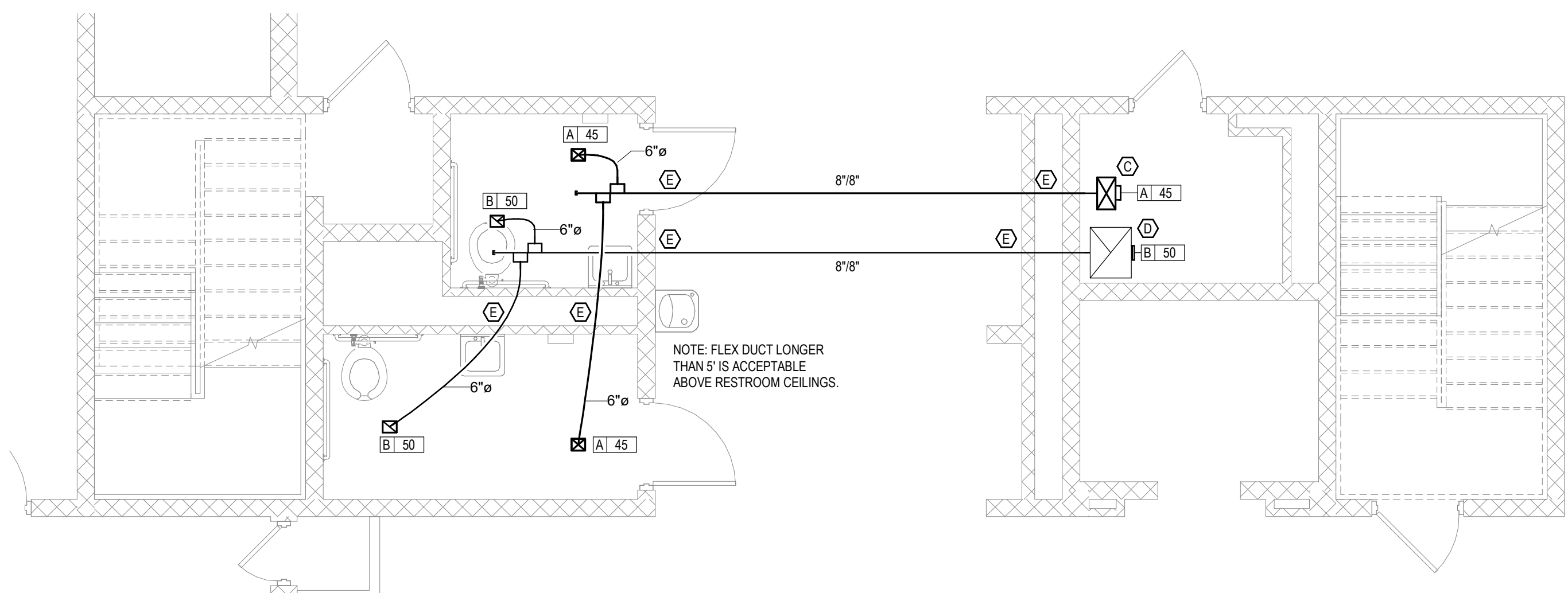
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2 1st FLOOR MECHANICAL PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



1 1st FLOOR KEY PLAN
SCALE: 1/16" = 1'-0"



3 1st FLOOR MECHANICAL PLAN - COMPLETED
SCALE: 1/4" = 1'-0"

- MECHANICAL NOTES**
- REFER TO M0.0 FOR GENERAL NOTES AND LEGEND.
 - ROUTING OF DUCTWORK SHOWN IS DIAGRAMMATIC AND IS NOT SHOWN IN EXACT LOCATIONS. CONTRACTOR SHALL INSTALL DUCTWORK WITH THE LEAST AMOUNT OF SPACE USED AS POSSIBLE.
 - ALL DUCTWORK SHALL BE MOUNTED AS HIGH AS POSSIBLE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE DUCTWORK LAYOUT WITH ALL OTHER DISCIPLINES TO AVOID INTERFERENCES.
 - DUCTWORK SHALL BE INSTALLED PARALLEL TO BUILDING LINE UNLESS NOTED OTHERWISE.
 - PROVIDE MANUAL DAMPER AT ALL BRANCH TAKE-OFFS.

- TAG NOTES**
- EXISTING EXHAUST AIR DUCT TO BE REMOVED.
 - EXISTING EXHAUST AIR DUCT TO REMAIN.
 - NEW MAKE-UP AIR DUCT DOWN FROM ROOF. REFER TO ELEVATION (1M3.0) FOR SIZING AND ROUTING. FURNISH & INSTALL GRILLE PER SCHEDULE.
 - EXISTING EXHAUST AIR DUCT DOWN FROM ROOF. REFER TO ELEVATION (1M3.0) FOR SIZE AND ROUTING INFORMATION. FURNISH & INSTALL GRILLE PER SCHEDULE.
 - NEW DUCTWORK TO BE ROUTED THRU OR AROUND EXISTING CMU WALLS AS NEEDED. FIELD VERIFY EXISTING CONDITIONS.

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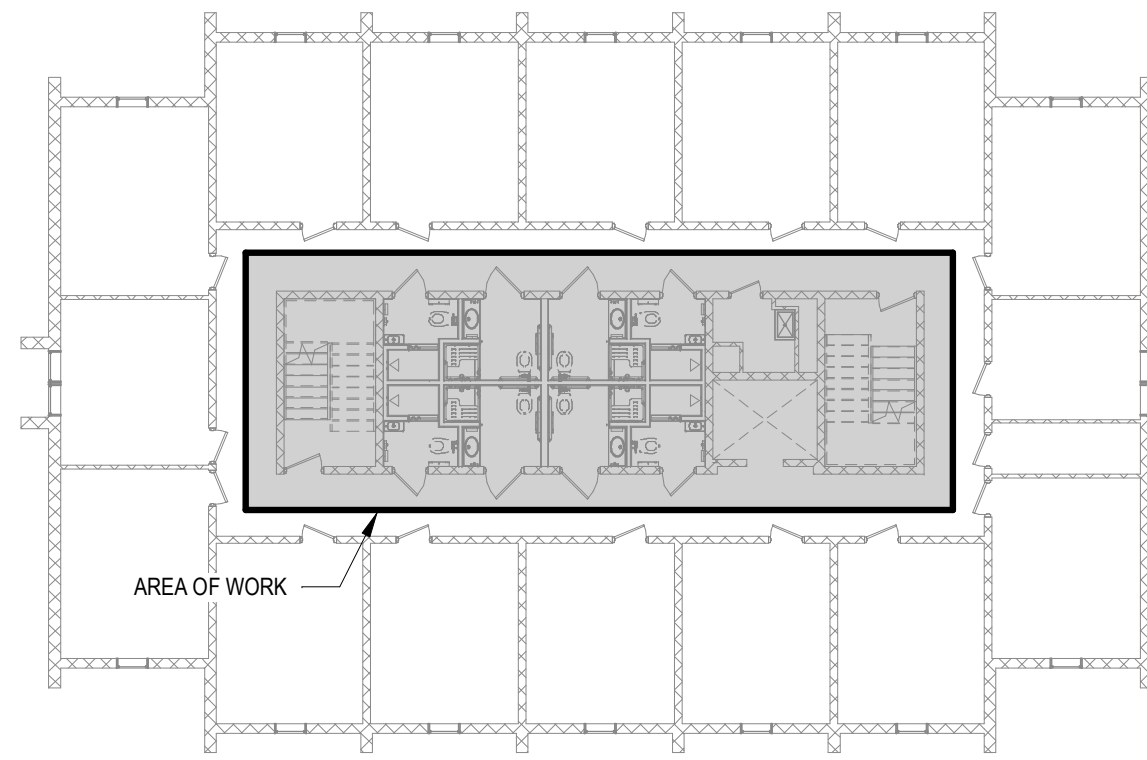
1st FLOOR MECHANICAL PLAN
 ISSUED FOR BIDDING

DATE	07/22/2022
BY	WJL
CHECKED BY	WJL
SCALE	As Indicated
SHEET NO.	M1.1
REVISION NO.	1

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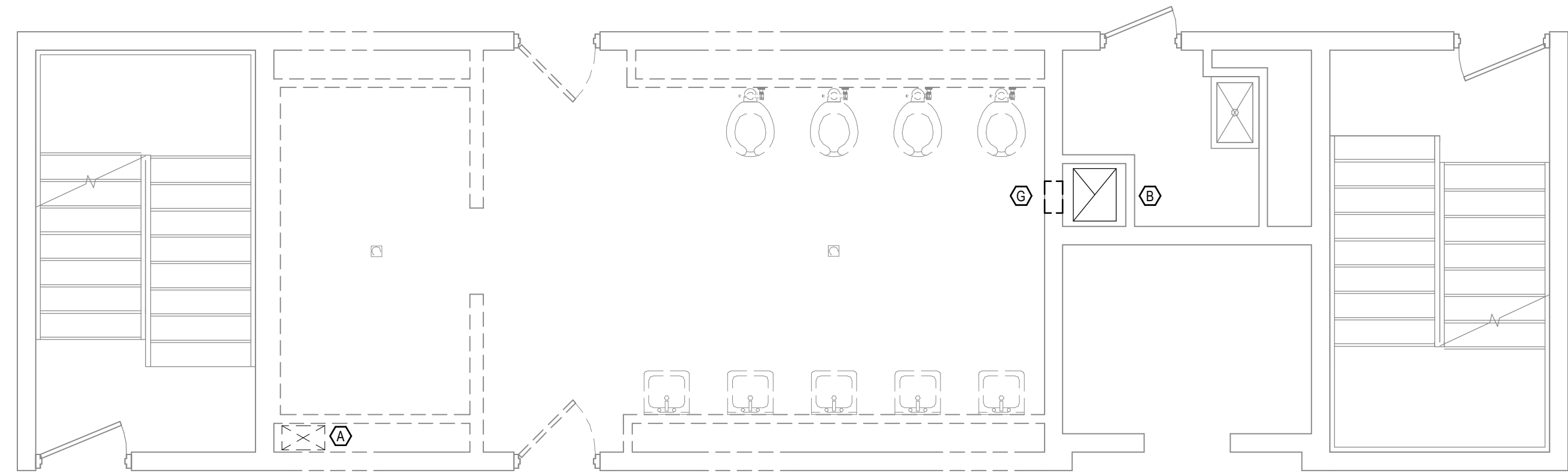
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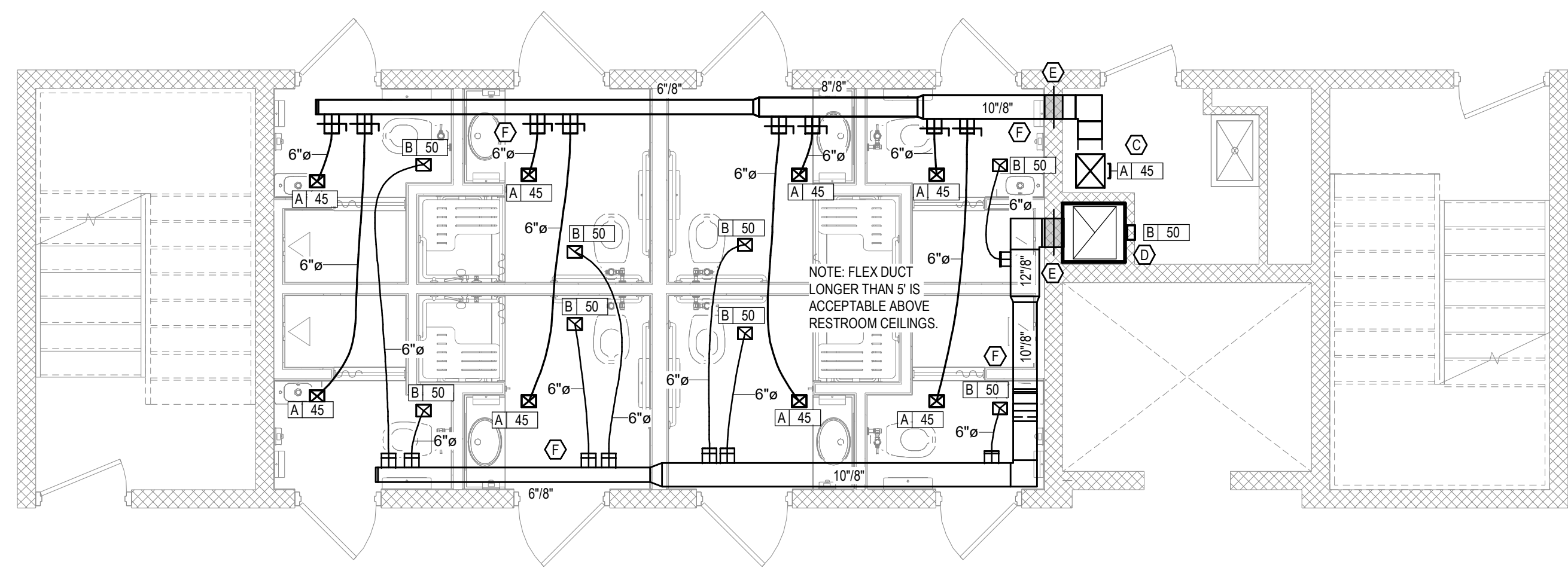
1 2nd THRU 8th FLOOR - KEY PLAN
 SCALE: 1/16" = 1'-0"

- MECHANICAL NOTES**
- REFER TO M1.0 FOR GENERAL NOTES AND LEGEND.
 - ROUTING OF DUCTWORK SHOWN IS DIAGRAMMATIC AND IS NOT SHOWN IN EXACT LOCATIONS. CONTRACTOR SHALL INSTALL DUCTWORK WITH THE LEAST AMOUNT OF SPACE USED AS POSSIBLE.
 - ALL DUCTWORK SHALL BE MOUNTED AS HIGH AS POSSIBLE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE DUCTWORK LAYOUT WITH ALL OTHER DISCIPLINES TO AVOID INTERFERENCES.
 - DUCTWORK SHALL BE INSTALLED PARALLEL TO BUILDING LINE UNLESS NOTED OTHERWISE.
 - PROVIDE MANUAL DAMPER AT ALL BRANCH TAKE-OFFS.

- TAG NOTES**
- EXISTING EXHAUST AIR DUCT TO BE REMOVED.
 - EXISTING EXHAUST AIR DUCT TO REMAIN.
 - NEW MAKE-UP AIR DUCT DOWN FROM ROOF. REFER TO ELEVATION FOR SIZING AND ROUTING.
 - EXISTING EXHAUST AIR DUCT DOWN FROM ROOF. REFER TO ELEVATION FOR SIZE AND ROUTING INFORMATION. FURNISH & INSTALL GRILLE PER SCHEDULE.
 - NEW DUCTWORK TO BE ROUTED THRU EXISTING CMU WALLS AS NEEDED. INSTALL WITH FIRE DAMPER WITH A 1-1/2 HOUR RATING. FIELD VERIFY EXISTING CONDITIONS. FURNISH & INSTALL GRILLE PER SCHEDULE.
 - CEILING SPACE IS TIGHT. COORDINATE WITH OTHER TRADES TO ENSURE INSTALLATION.
 - AIR DEVICE IN WALL TO BE REMOVED AND HOLE TO BE PATCHED.



2 2nd THRU 8th FLOOR - MECHANICAL PLAN - DEMOLITION
 SCALE: 1/4" = 1'-0"



4 2nd THRU 8th FLOOR - MECHANICAL PLAN - COMPLETED
 SCALE: 1/4" = 1'-0"

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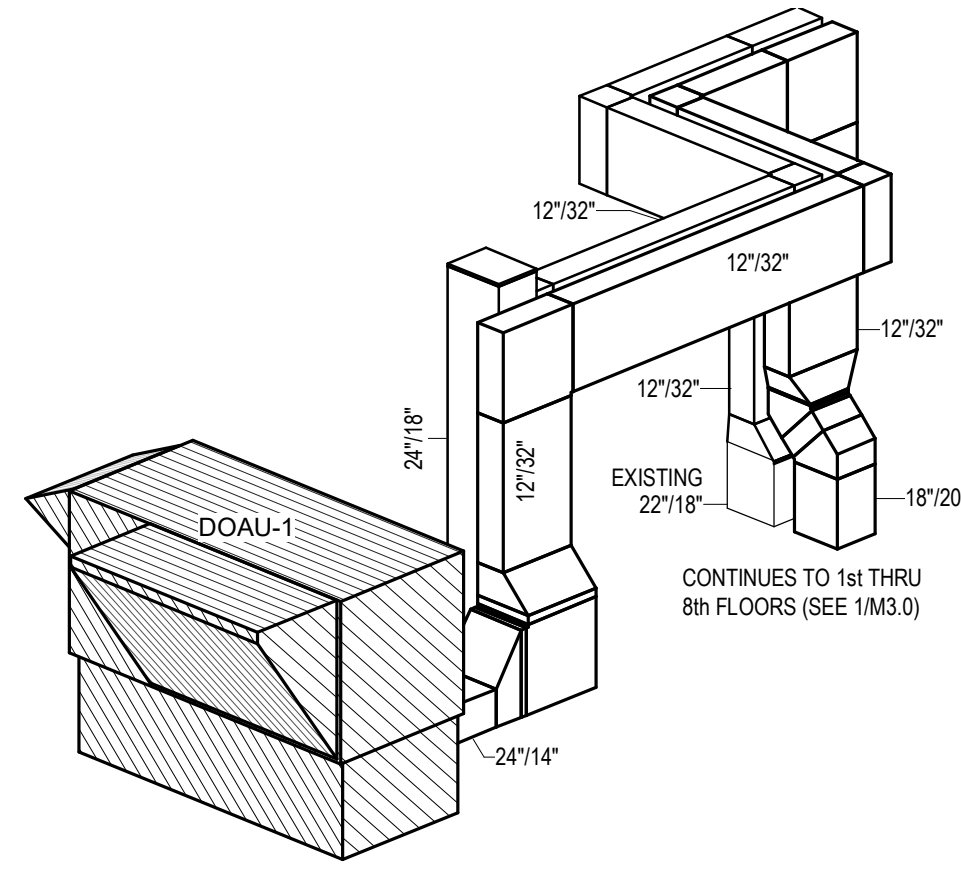
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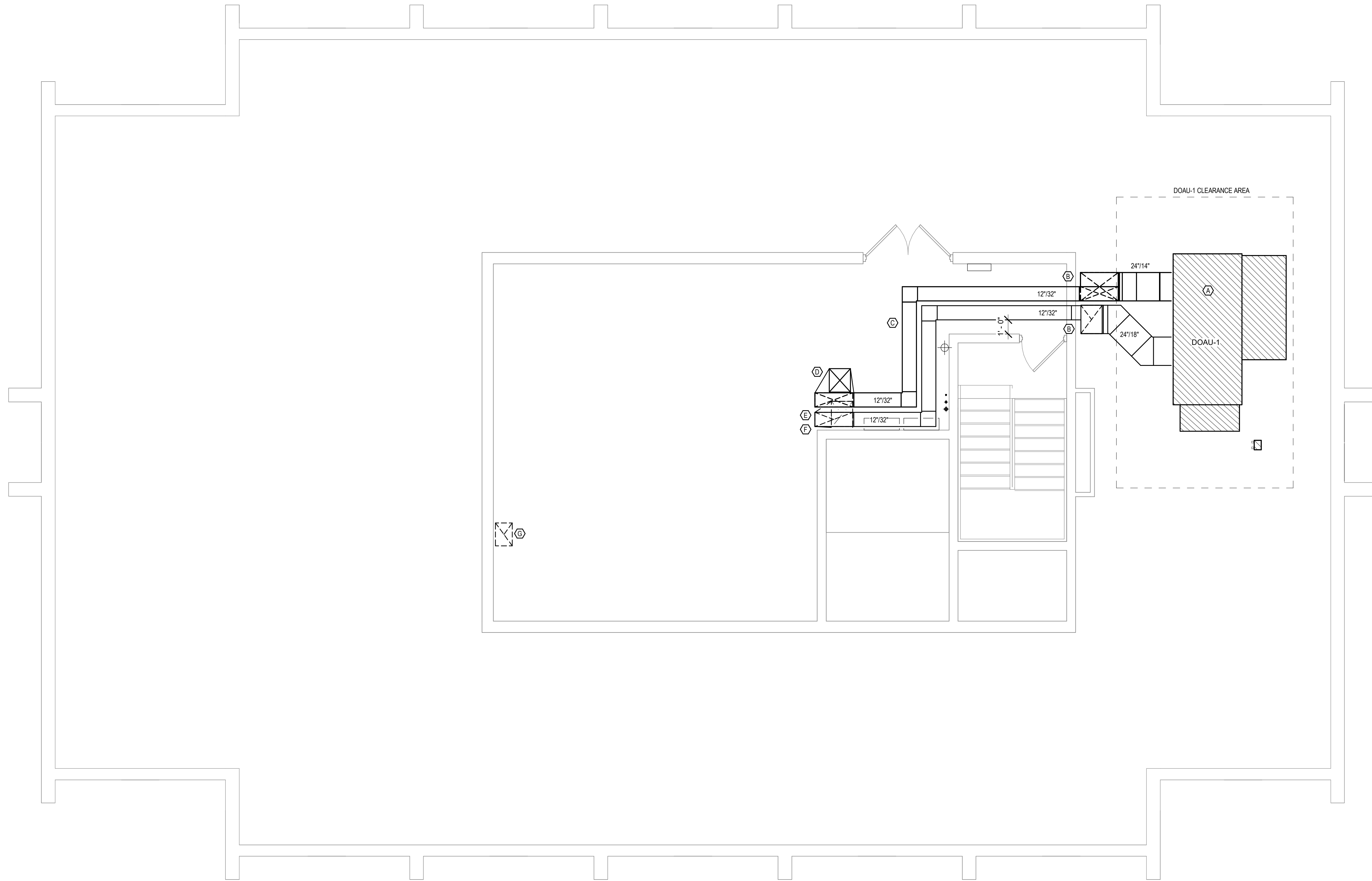
2nd THRU 8th FLOOR MECHANICAL PLAN
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SCALE	As Indicated
BY	WJL
CHECKED BY	WJL
APPROVED BY	WJL
DATE	07/22/2022
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SHEET NO.	M1.2
TOTAL SHEETS	1

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2 MECHANICAL ROOFTOP ISOMETRIC
 SCALE: NTS



1 ROOF MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"

- MECHANICAL NOTES**
- REFER TO M1.0 FOR GENERAL NOTES AND LEGEND.
 - ROUTING OF DUCTWORK SHOWN IS DIAGRAMMATIC AND IS NOT SHOWN IN EXACT LOCATIONS. CONTRACTOR SHALL INSTALL DUCTWORK WITH THE LEAST AMOUNT OF SPACE USED AS POSSIBLE.
 - ALL DUCTWORK SHALL BE MOUNTED AS HIGH AS POSSIBLE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE DUCTWORK LAYOUT WITH ALL OTHER DISCIPLINES TO AVOID INTERFERENCES.
 - DUCTWORK SHALL BE INSTALLED PARALLEL TO BUILDING LINE UNLESS NOTED OTHERWISE.
 - PROVIDE MANUAL DAMPER AT ALL BRANCH TAKE-OFFS.

- TAG NOTES**
- DEDICATED OUTSIDE AIR UNIT (DOAU-1), MOUNTED ON ROOF. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. REFER TO 2/M1.3 FOR ADDITIONAL INFORMATION.
 - EXHAUST AND MAKE-UP AIR DUCTS THRU EXTERIOR WALL.
 - EXHAUST AND MAKE-UP AIR DUCTS OVERHEAD. FIELD VERIFY LOCATIONS OF EXISTING PIPING AND STRUCTURE.
 - NEW MAKE-UP AIR DUCT THRU FLOOR. REFER TO ELEVATION (1/M3.0) FOR SIZE AND ROUTING.
 - NEW EXHAUST AIR DUCT TO CONNECT TO EXISTING AIR DUCT. REFER TO ELEVATION (1/M3.0) FOR ADDITIONAL INFORMATION.
 - EXISTING EXHAUST FAN ON ROOF TO BE REMOVED AND HOLE THRU ROOF TO BE CAPPED WEATHER TIGHT.
 - EXISTING EXHAUST AIR DUCT TO BE REMOVED. EXHAUST FAN ON ROOF TO BE REMOVED AND CAPPED WEATHER TIGHT.

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BY	WJL
SCALE	1/4" = 1'-0"
BY	WJL
REVISION NO.	1
DATE	07/22/2022
BY	WJL
SCALE	1/4" = 1'-0"
BY	WJL
REVISION NO.	1

ROOF MECHANICAL PLAN
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 DATE: 4/26/13 (DATE BORN)
 07/22/2022

DEDICATED OUTDOOR AIR UNIT SCHEDULE

MARK	LOCATION	AIRFLOW (CFM)		ESP (IN WC)	COOLING					ELECTRIC HEATING			ELECTRICAL				WEIGHT (LBS)	MANUFACTURER	MODEL			
		SUPPLY	EXHAUST AIR		EAT DB (°F)	EAT WB (°F)	LAT DB (°F)	LAT WB (°F)	TOTAL CAP (MBH)	SENS CAP (MBH)	EER	IEER	OUTPUT CAPACITY (MBH)	CFM	INPUT (KW)	VOLTS				PH	MCA	MOCF
DOAU-1	ROOFTOP	2970	3300	0.75 in-wg	78 °F	70 °F	55 °F	54 °F	150	78	11.5	13.7	128	2970	37.6	208	3	154	175	2381	AAON	RN-013-8-0-FA09-15A-VEKE-UDA-DCD-00A-ODECONF-00-DC00000VB

- DOAU SCHEDULE NOTES:**
- DIGITAL SCROLL COMPRESSOR
 - ELECTRIC HEAT WITH SCR CONTROL
 - DIRTY FILTER ALARM
 - DOUBLE WALL CONSTRUCTION
 - SINGLE POINT POWER CONNECTION
 - FACTORY MOUNTED AND WIRED VFD'S
 - LOW AMBIENT CONTROL
 - MODULATING HOT GAS REHEAT
 - VARIABLE SPEED ENERGY RECOVERY WHEEL
 - BUILDING AUTOMATION SYSTEM (BAS) INTERFACE
 - INTEGRATE DOAU INTO EXISTING FACILITY BAS. COORDINATE POINTS LIST WITH FACILITY BAS PERSONNEL.
 - SMOKE DETECTOR
 - CONDENSATE DRAIN PAN OVERFLOW SWITCH
 - NON-FUSED DISCONNECT FOR FIELD INSTALLATION
 - VOLTAGE/PHASE MONITOR
 - COIL/HAIL GUARDS
 - INTERNAL FAN/MOTOR VIBRATION ISOLATORS
 - MICROPROCESSOR CONTROLLER WITH DIGITAL DISPLAY
 - DUCT MOUNTED SUPPLY AIR DEW POINT/TEMP SENSOR FOR FIELD INSTALLATION
 - FACTORY INSTALLED OUTSIDE AIR, EXHAUST AIR TEMPERATURE AND HUMIDITY SENSORS
 - 36" TALL, INSULATED HORIZONTAL DISCHARGE CURB
 - PIPE CONDENSATE DRAIN TO LOCATION SHOWN ON PLANS.
 - FACTORY START-UP
 - ACCEPTABLE ALTERNATE MANUFACTURERS: DAIKIN, TRANE

- DOAU WITH ERV SEQUENCE OF OPERATION:**
- DOAU SUPPLY AND EXHAUST FAN SHALL RUN CONTINUOUSLY DURING NORMAL BUILDING OPERATION OR AS REQUIRED BY OWNER.
 - DOAU SUPPLY FAN SHALL BE CONSTANT VOLUME AND SHALL DELIVER A SET AIRFLOW TO EACH AREA OF THE BUILDING REQUIRING OUTSIDE AIR AS SHOWN ON PLANS.
 - DOAU EXHAUST FAN SHALL BE CONSTANT VOLUME AND SHALL EXHAUST A SET AIRFLOW FROM EACH AREA REQUIRING EXHAUST AS SHOWN ON PLANS.
 - DURING OPERATION, UNIT SHALL CONTINUALLY MONITOR OUTSIDE AIR AND EXHAUST ENTERING AIR TEMPERATURE AND HUMIDITY ACROSS ENERGY RECOVERY WHEEL AND SHALL MODULATE WHEEL SPEED TO MAINTAIN OPTIMUM ENERGY RECOVERY.
 - COMPRESSOR SHALL MODULATE TO DELIVER LAT OFF COOLING COIL AS SCHEDULED.
 - HOT GAS REHEAT COIL SHALL MODULATE TO REHEAT DISCHARGE AIR TO DELIVER NEUTRAL AIR AS SCHEDULED (65°F-72°F).
 - WHEN OUTDOOR AIR TEMPERATURES ARE BELOW DISCHARGE AIR TEMPERATURE SETPOINT AND DO NOT REQUIRE DEHUMIDIFICATION, THE COMPRESSOR SHALL CYCLE OFF AND THE ELECTRIC REHEAT COIL SHALL MODULATE TO MAINTAIN DESIRED DISCHARGE AIR TEMPERATURE SETPOINT AS SCHEDULED (65°F-72°F).

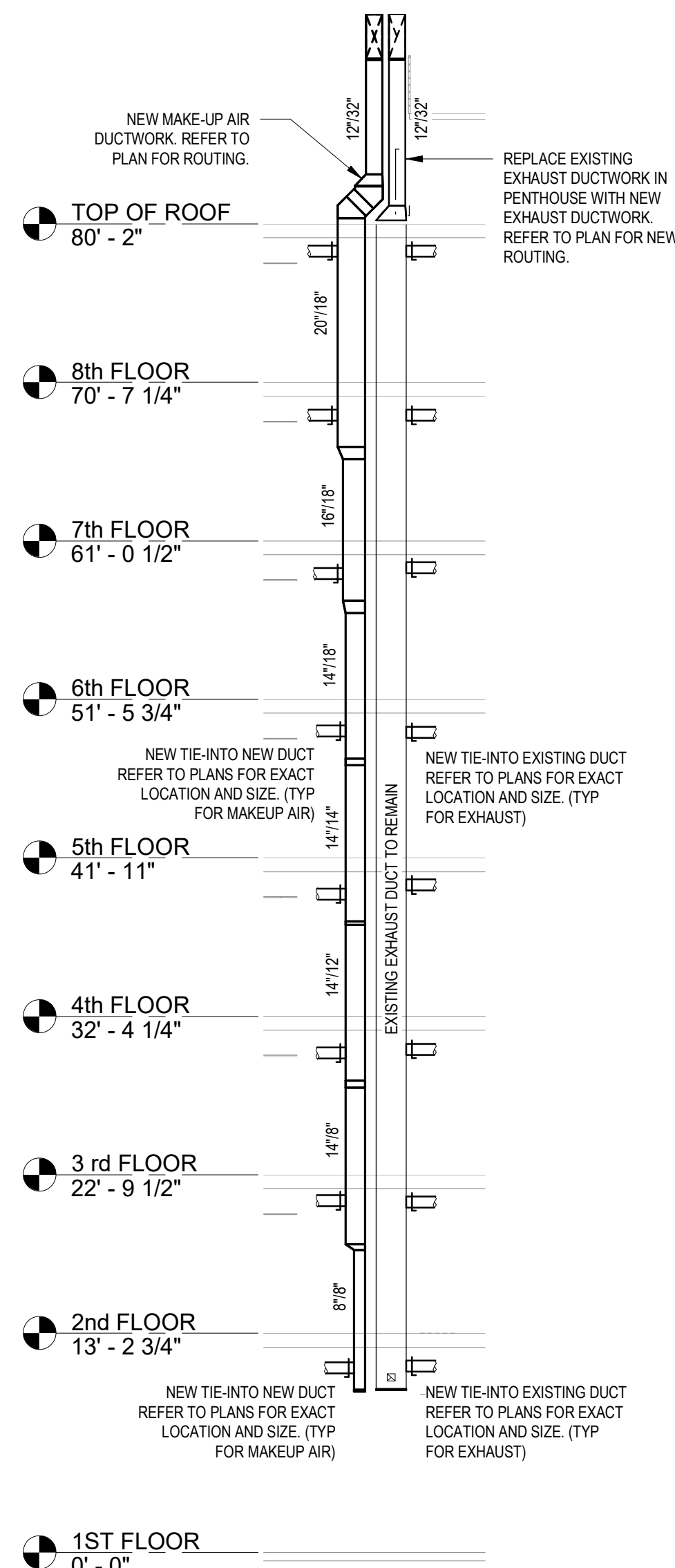
- ROOF CURB**
- TECO METAL PRODUCTS
- RN-B, EXT., 3000 CFM
 - 14 GAUGE GALVANIZED STEEL
 - 1.5" INSULATION ON WALLS
 - 1" INSULATION ON FLOOR
 - TURNING VANES IN SUPPLY SECTION
 - TERMINATION STRIP WITH 1" X 4" WOOD NAILER

AIR DEVICE SCHEDULE

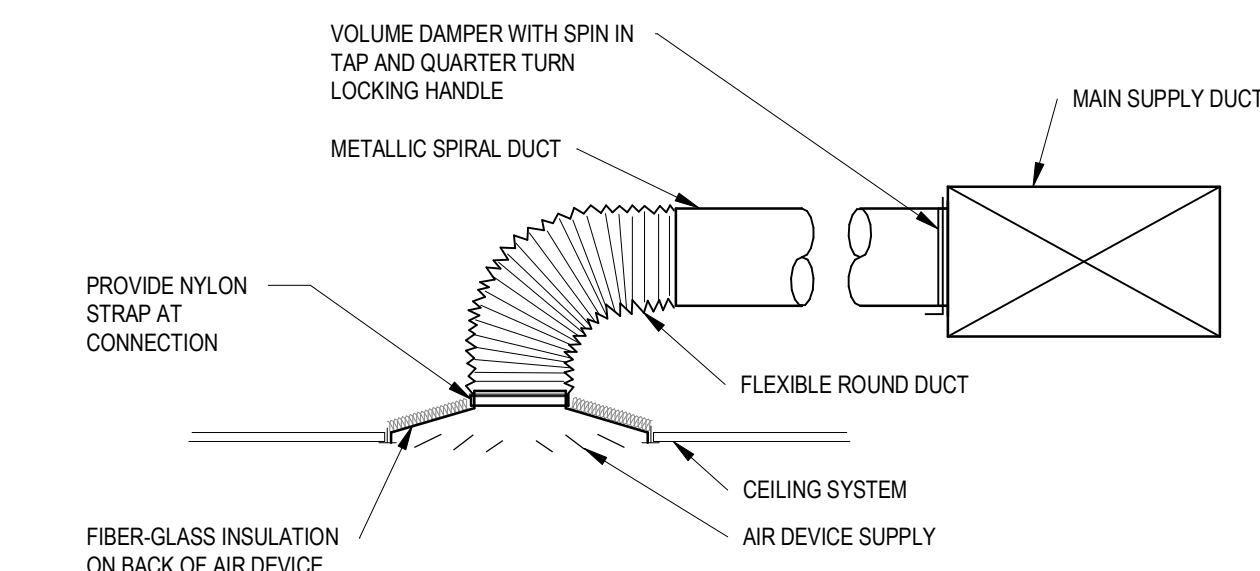
MARK	SERVICE	MOUNTING	DESCRIPTION	SIZE		MANUFACTURER	MODEL
				WIDTH	LENGTH		
A	SUPPLY	SURFACE	LOUVERED FACE GRILLE	5'	6'	PRICE	610
B	EXHAUST	SURFACE	LOUVERED FACE GRILLE	5'	6'	PRICE	635

NOTES

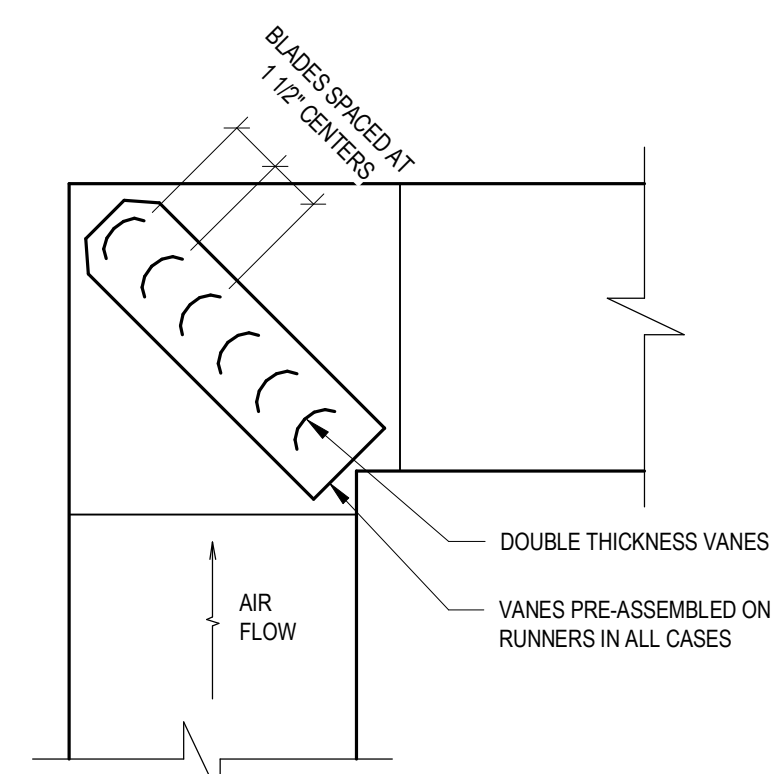
- UNITS SHALL BE FURNISHED WITH APPROPRIATE FRAMES, ETC. FOR SIDEWALL OR CEILING MOUNTING.
- FINISH / PAINT COLOR SHALL BE AS DETERMINED BY OWNER'S REPRESENTATIVE.
- SOUND VALUES SHALL NOT EXCEED 30 NC (ROOM), UNLESS OTHERWISE NOTED.
- PROVIDE ALL NECESSARY ACCESSORIES FOR COMPLETE INSTALLATION.



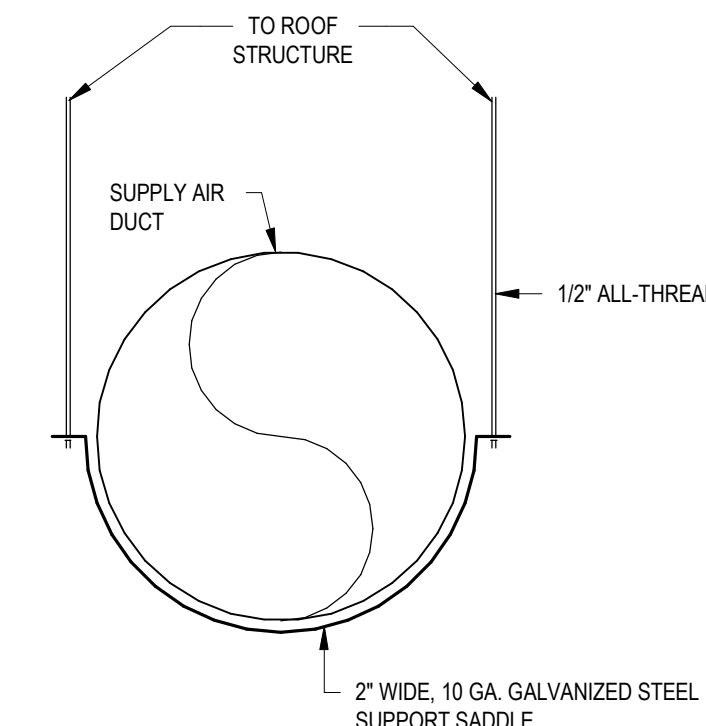
1 VERTICAL DUCT STACK ELEVATION
SCALE: 1/8" = 1'-0"



2 BRANCH RUNOUT AIR DEVICE CONNECTION - SQUARE DUCT
SCALE: NTS



3 SQUARE ELBOW
SCALE: NTS



4 SUPPORT SADDLE
SCALE: NTS

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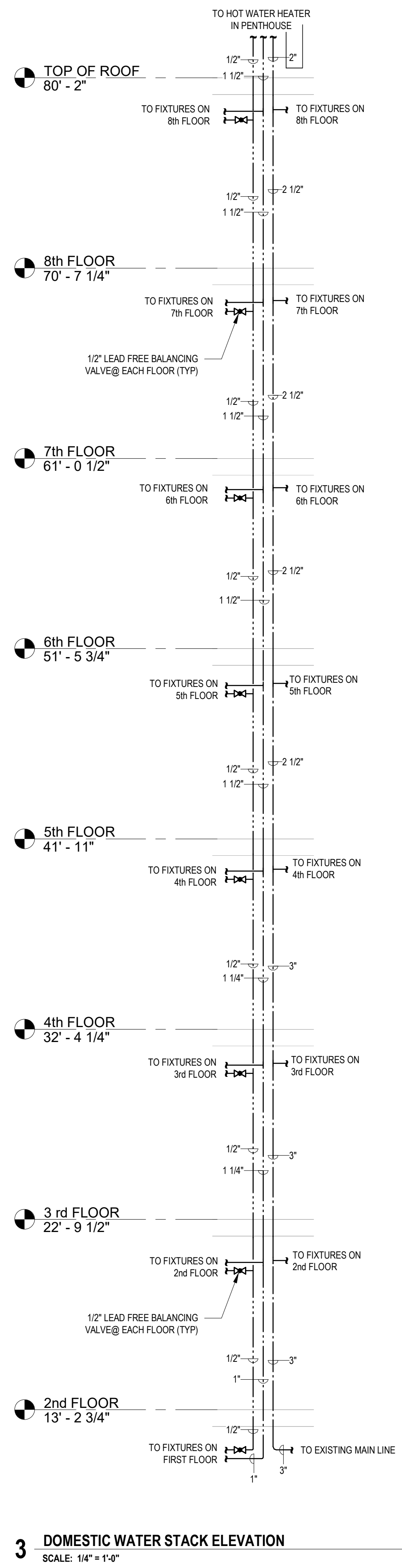
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MECHANICAL SCHEDULES & DETAILS
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DATE: 07/22/2022	SCALE: As Indicated	REVISION NO: 1
PROJECT: 2024-008	BY: WJI	
DRAWN BY: GWJ	CHECKED BY: WJI	
SHEET NO: M3.0		

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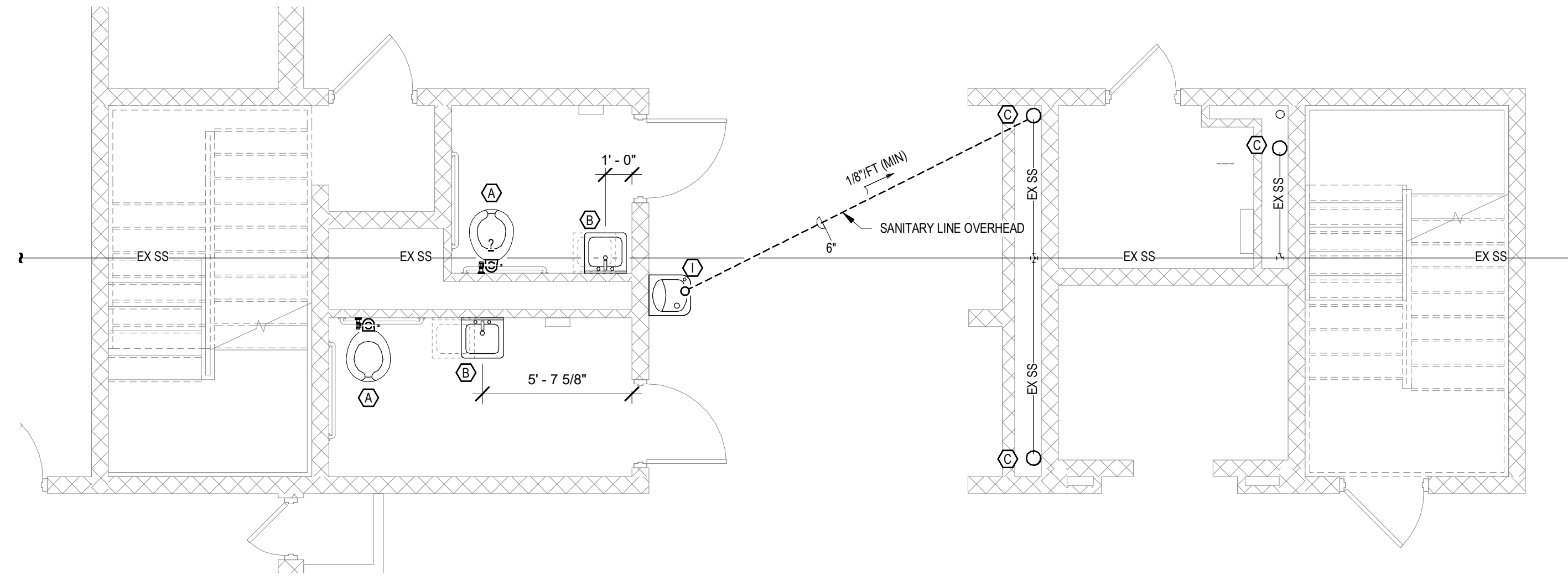
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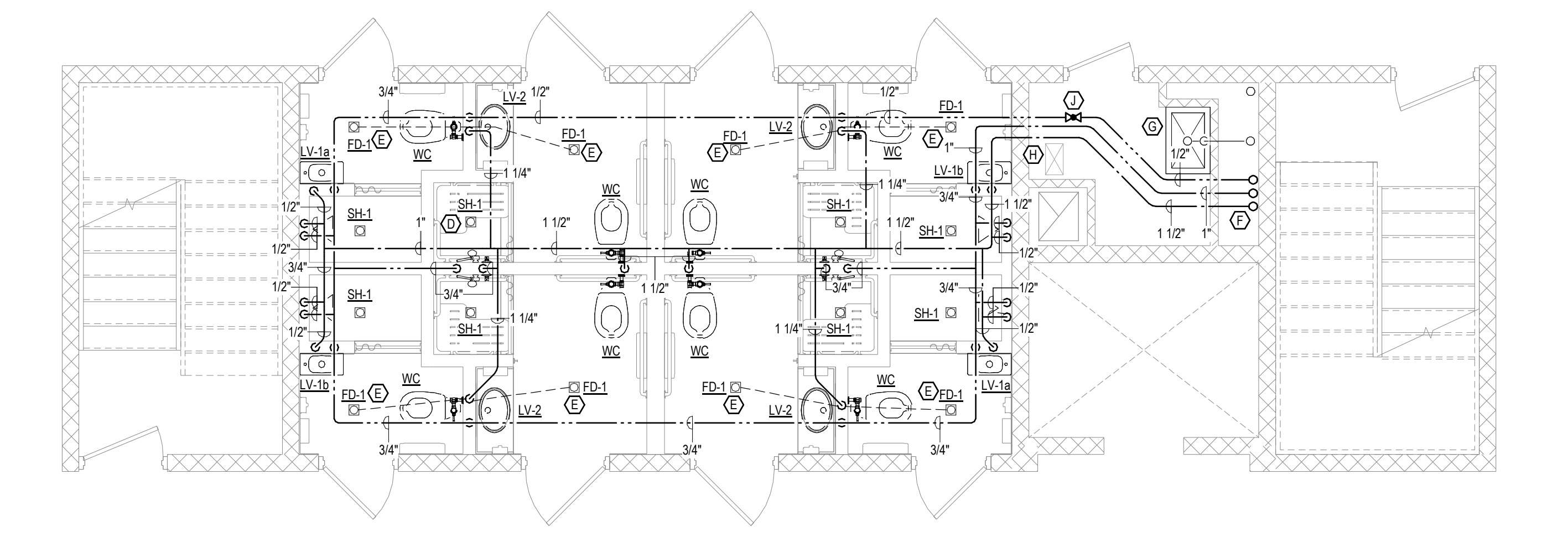
3 DOMESTIC WATER STACK ELEVATION
SCALE: 1/4" = 1'-0"



4 2nd THRU 8th FLOOR - KEY PLAN
SCALE: 1/16" = 1'-0"



2 1st FLOOR PLUMBING PLAN
SCALE: 1/4" = 1'-0"



1 2nd THRU 8th FLOOR - DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"

- PLUMBING NOTES**
- REFER TO P.0 FOR GENERAL NOTES AND LEGEND.
 - ROUTING OF PIPING SHOWN IS DIAGRAMMATIC AND IS NOT SHOWN IN EXACT LOCATIONS. CONTRACTOR SHALL INSTALL PIPING WITH THE LEAST AMOUNT OF SPACE USED AS POSSIBLE.
 - ALL PIPING SHALL BE MOUNTED AS HIGH AS POSSIBLE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COORDINATE PIPING LAYOUT WITH ALL OTHER DISCIPLINES TO AVOID INTERFERENCES.
 - PIPING SHALL BE INSTALLED PARALLEL TO BUILDING LINE UNLESS NOTED OTHERWISE.
 - PROVIDE ISOLATION VALVE AT ALL DOMESTIC WATER BRANCH TAKE-OFFS.
 - PROVIDE TRAP PRIMER SYSTEM FOR ALL FLOOR DRAINS

- TAG NOTES**
- EXISTING TOILET TO REMAIN.
 - EXISTING SINK TO BE RELOCATED WITHIN SAME BATHROOM AS SHOWN. REFER TO ARCHITECTURE FOR ADDITIONAL INFORMATION. REROUTE EXISTING SANITARY AND DOMESTIC WATER AS NEEDED TO NEW LOCATION.
 - EXISTING SANITARY SEWER STUB UP. SIZE AND LOCATION ASSUMED. FIELD VERIFY CONDITIONS. EXISTING STACK SERVES UPPER FLOORS. NEW SANITARY STACK TO BE ROUTED TO THIS LOCATION THRU FIRST FLOOR CEILING.
 - PROVIDE COLD WATER PIPING TO SHOWER DRAIN (SH-1) FOR TRAP PRIMER CONNECTION.
 - PROVIDE COLD WATER PIPING TO FLOOR DRAIN (FD-1) FOR TRAP PRIMER CONNECTION.
 - DOMESTIC WATER STACK. REFER TO DETAIL XXX FOR ADDITIONAL INFORMATION. EXISTING CONDITIONS ASSUMED. FIELD VERIFY EXISTING PIPING SYSTEM BEFORE BEGINNING WORK.
 - EXISTING MOPSINK TO REMAIN. CONNECT EXISTING DOMESTIC WATER PIPING SYSTEM TO NEW PIPING AS NEEDED.
 - MECHANICAL DUCTWORK IN THIS AREA COORDINATE WITH MECHANICAL CONTRACTOR. CEILING SPACE IS TIGHT.
 - NEW SANITARY PIPING DROPPING DOWN FROM SECOND FLOOR. ROUTE PIPING OVERHEAD AS SHOWN TO EXISTING SANITARY SEWER STUB UP. CONNECT TO EXISTING PIPE.
 - BALANCING VALVE INSTALLED AT EACH FLOOR RETURN HOT WATER LINE.

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WALT JOHNSON
REGISTERED PROFESSIONAL ENGINEER
NO. 0000000000
EXPIRES 07/22/2022

KILGORE COLLEGE
STARK HALL R.R. RENOVATION
607 ELDER STREET
KILGORE, TX 75662

NO.	REVISIONS	DATE
0	ISSUED FOR PERMIT	06/29/22
1	ISSUED FOR BIDDING	07/22/2022

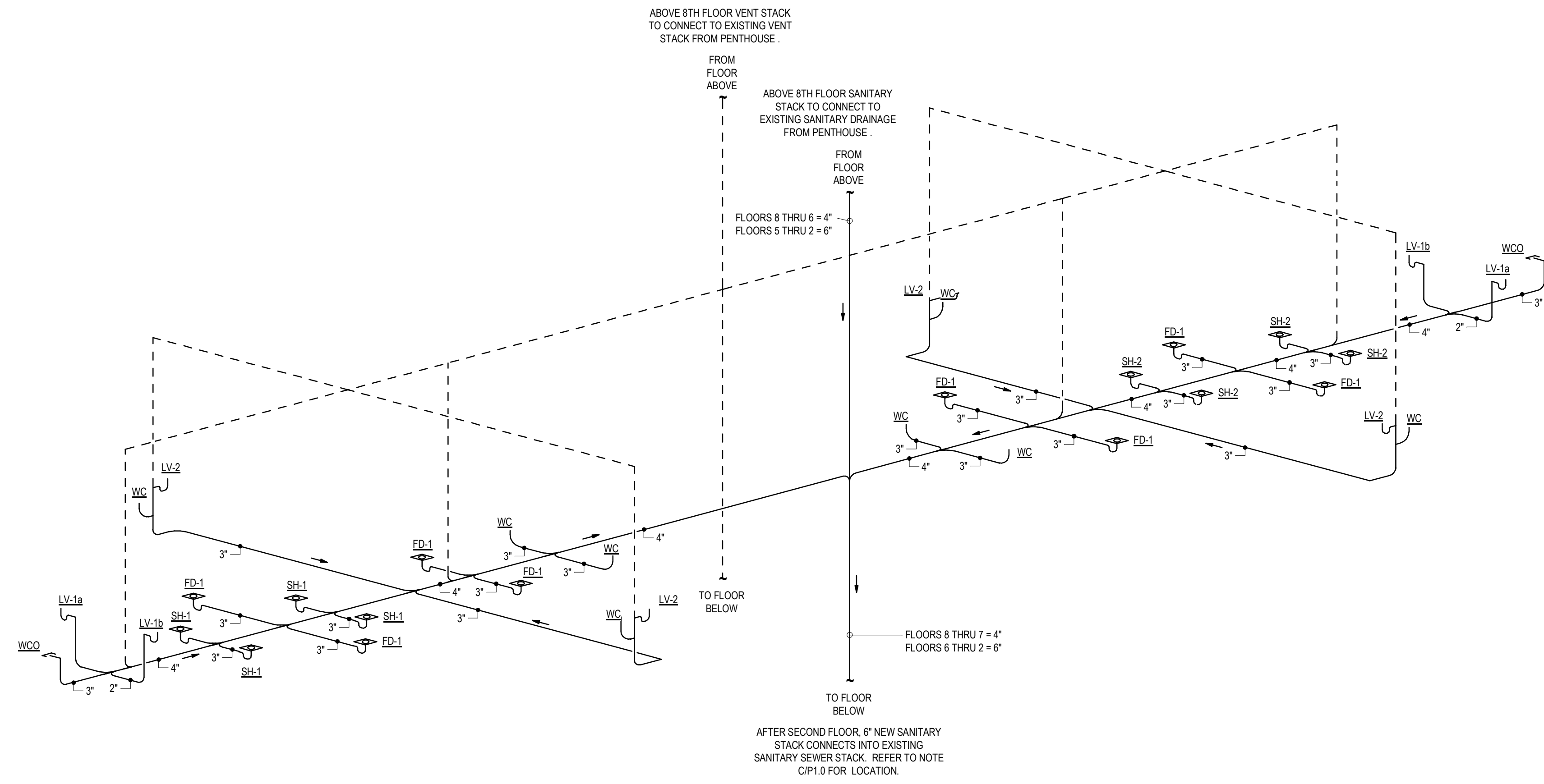
DOMESTIC WATER PLAN
ISSUED FOR BIDDING

WJ ENGINEERING INC.
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walt@wjengineering.com
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Gilmer, Texas 75644

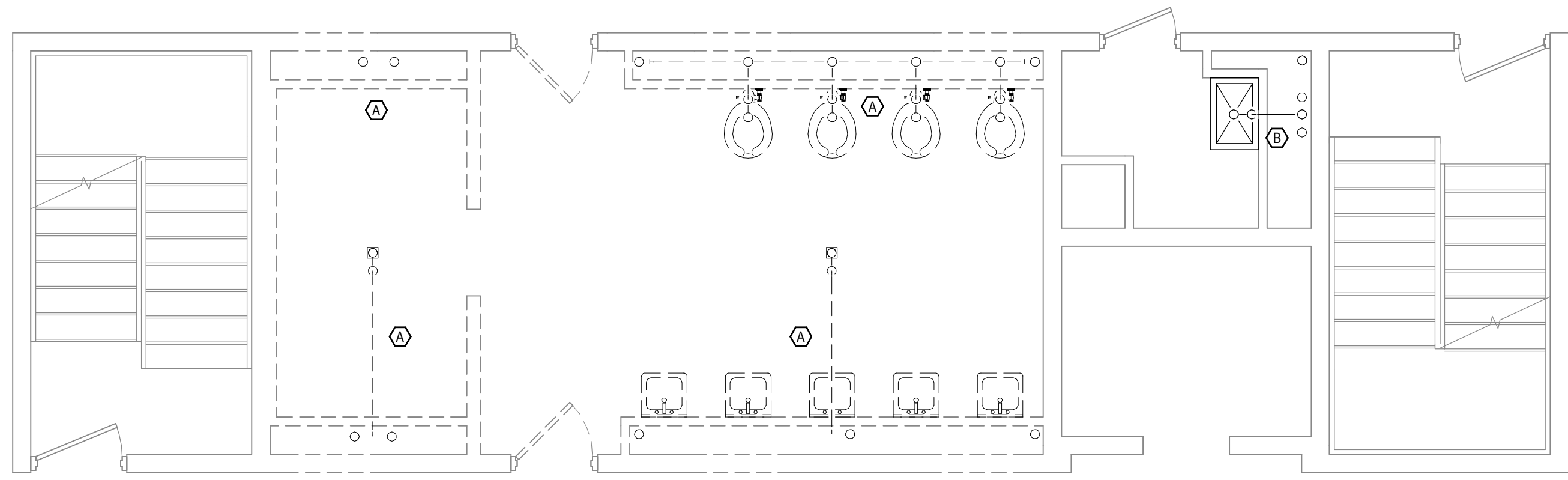
DATE	07/22/2022
BY	WJL
CHECKED BY	WJL
APPROVED BY	WJL
SCALE	As Indicated
SHEET NO.	1
PROJECT NO.	P1.0

PROJECT: 75020222 11:07:05 AM
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 FILENAME: P:\Projects\2084 Kilgore College\2084-008 Stalk Hall Renovation\CADMET\2084-001 - Stalk Hall - MEP Set.rvt
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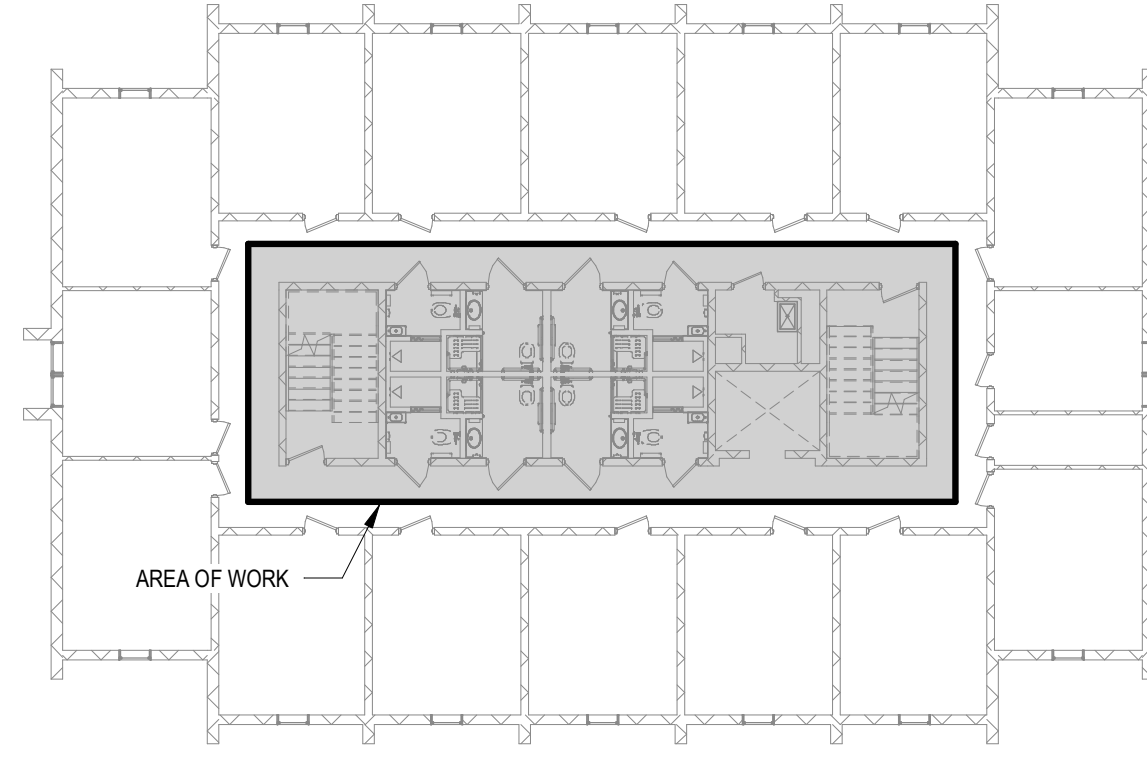
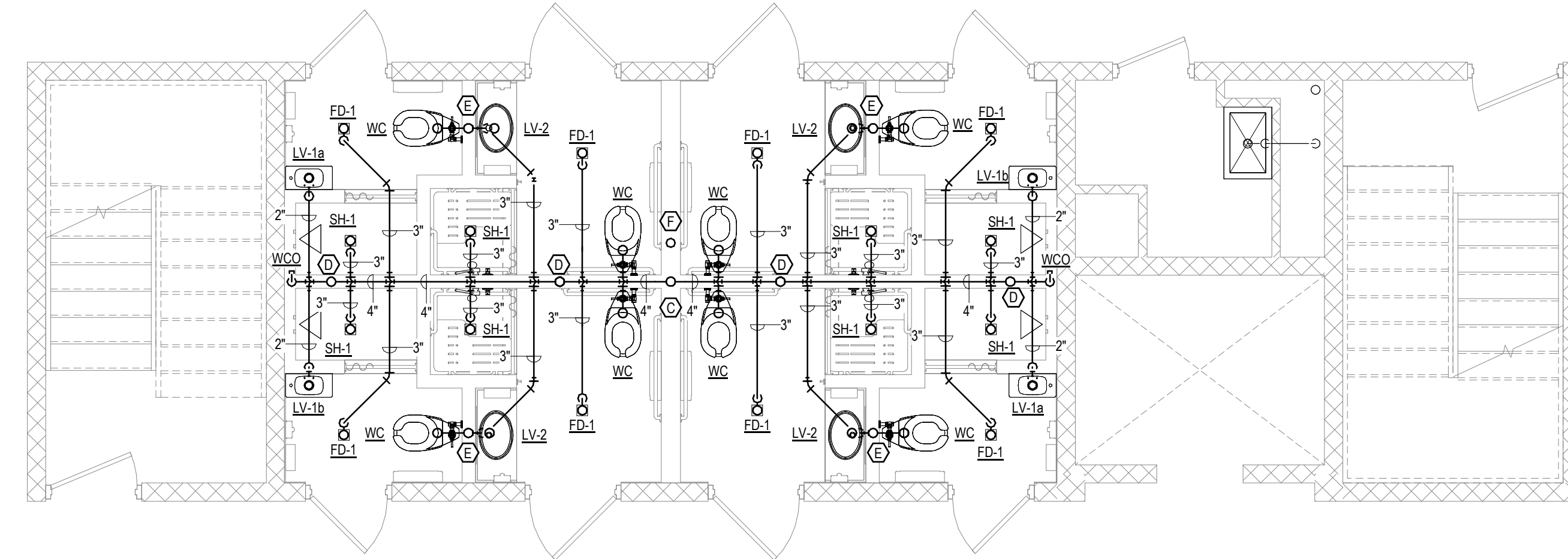
4 SANITARY SEWER RISER (TYPICAL FLOORS 2 THRU 8)
SCALE: NTS



1 2nd THRU 8th FLOOR - SANITARY SEWER - DEMOLITION
SCALE: 1/4" = 1'-0"



2 2nd THRU 8th FLOOR - SANITARY SEWER - COMPLETED
SCALE: 1/4" = 1'-0"



3 2nd THRU 8th FLOOR - KEY PLAN
SCALE: 1/16" = 1'-0"

- PLUMBING NOTES**
- REFER TO P0.0 FOR GENERAL NOTES AND LEGEND.
 - ROUTING OF PIPING SHOWN IS DIAGRAMMATIC AND IS NOT SHOWN IN EXACT LOCATIONS. CONTRACTOR SHALL INSTALL PIPING WITH THE LEAST AMOUNT OF SPACE USED AS POSSIBLE.
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 - PIPING SHALL BE INSTALLED PARALLEL TO BUILDING LINE UNLESS NOTED OTHERWISE.
 - PROVIDE ISOLATION VALVE AT ALL DOMESTIC WATER BRANCH TAKE-OFFS.
 - PROVIDE TRAP PRIMER SYSTEM FOR ALL FLOOR DRAINS

- TAG NOTES**
- EXISTING SANITARY AND FIXTURES TO BE REMOVED
 - EXISTING SANITARY AND FIXTURES TO REMAIN.
 - MAIN STACK. REFER TO RISER DIAGRAM FOR ADDITIONAL INFORMATION. REFER TO VP1.0 FOR CONTINUATION.
 - CIRCUIT VENT LINE. REFER TO RISER DIAGRAM (4/P2.0) FOR ADDITIONAL INFORMATION.
 - COMMON VENT LINE. REFER TO RISER DIAGRAM (4/P2.0) FOR ADDITIONAL INFORMATION.
 - VENT STACK UP THRU BUILDING. REFER TO RISER (4/P2.0)

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	REMARKS	CONNECTION SIZE			
					W	V	CW	HW
FD-1	3" FLOOR DRAIN	ZURN	FD-2280-PV3-ST	FINISHED AREA FLOOR DRAIN W/ SQUARE TOP, PVC HUB, AND TRAP PRIMER CONNECTION	3"	2"		
LV-1a	WALL HUNG LAVATORY	KOHLER	K-80179-R	WALL-MOUNT, VITREOUS CHINA, RIGHT HANDED, RECTANGULAR BASIN WITH OVERFLOW, SINGLE FAUCET HOLE ON LEFT SIDE. FAUCET: DELTA, #534LF-HGM-PP	1 1/2"	2"	1/2"	1/2"
LV-1b	WALL HUNG LAVATORY	KOHLER	K-80179-L	WALL-MOUNT, VITREOUS CHINA, LEFT HANDED, RECTANGULAR BASIN WITH OVERFLOW, SINGLE FAUCET HOLE ON LEFT SIDE. FAUCET: DELTA, #534LF-HGM-PP	1 1/2"	2"	1/2"	1/2"
LV-2	LAVATORY	CARAGREEN	DURAT SINK - OVAL II	LAVATORY WITH INTEGRATED COUNTERTOP. REFER TO ARCHITECTURAL FOR DIMENSIONS. PROVIDE WITH SINGLE FAUCET MOUNTED TO SIDE OF SINK. FAUCET: DELTA, #534LF-HGM-PP. PROVIDE WITH OPTIONAL OVERFLOW.	1 1/2"	2"	1/2"	1/2"
SH-1	SHOWER	ZURN	Z7121-SS-LH-DV2P-HW	SHOWER HEAD: SINGLE HANDLE PRESSURE BALANCING MIXING SHOWER UNIT WITH VOLUME CONTROL, DRAIN: ZURN, FD-2280-PV3-ST	3"	2"	1/2"	1/2"
WC	WATER CLOSET	AMERICAN STANDARD	2854.128	ADA ACCESSIBLE, FLOOR MOUNTED, ELONGATED FLUSHMETER VALVE TOILET, 1.28 GPM, VITREOUS CHINA, SEAT: AMERICAN STANDARD #5901.100	3"	2"	1"	

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 07/22/2022

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STARK HALL R.R. RENOVATION
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REVISIONS

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1	07/22/2022	ISSUED FOR BIDDING

SANITARY SEWER PLAN
ISSUED FOR BIDDING

DATE: 07/22/2022
 DRAWN BY: GWJ
 CHECKED BY: WJL
 APPROVED BY: WJL
 SCALE: As Indicated
 SHEET NO: 1
 REGION NO: P2.0

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ELECTRICAL ABBREVIATIONS			
A	AMPERE	G	GROUND
AFF	ABOVE FINISHED FLOOR	GA	GAUGE
AIC	AMPERES INTERRUPTING CAPACITY	GFI/GFCI	GROUND FAULT INTERRUPTER
AL	ALUMINUM	HDG	HOT DIPPED GALVANIZED
AMPS	AMPERES	HP	HORSEPOWER
C	CONDUIT	HZ	HERTZ
CB	CIRCUIT BREAKER	ID	INTERNAL DIAMETER
CPB	CONCRETE PULL BOX	IG	ISOLATED GROUND
CS	COMBINATION STARTER	JB, J	JUNCTION BOX
CT	CURRENT TRANSFORMER	KVA	KILOVOLT-AMPERE
CTC/C	CENTER TO CENTER	KW	KILOWATT
EGC	EQUIPMENT GROUNDING CONDUCTOR	LED	LIGHT EMITTING DIODE
EWC	ELECTRIC WATER COOLER	MCB	MAIN CIRCUIT BREAKER
F & I	FURNISH & INSTALL	MH	MANHOLE
FT	FEET	MLO	MAIN LUGS ONLY
		NC	NORMALLY CLOSED
		NF	NON-FUSED
		NO	NORMALLY OPEN, NUMBER
		NTS	NOT TO SCALE
		OD	OUTSIDE DIAMETER
		P	POLE
		PH	PHASE
		PR	PAIR SHIELDED CABLE
		PVC	POLYVINYL CHLORIDE CONDUIT
		SS	STAINLESS STEEL
		TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
		UON	UNLESS OTHERWISE NOTED
		UPS	UNINTERRUPTIBLE POWER SUPPLY
		V	VOLT
		W	WATT
		WP	WEATHERPROOF
		XFMR	TRANSFORMER

ELECTRICAL NOTES:	
1.	THE ELECTRICAL SYSTEM SHOWN ON THE DRAWINGS IS ONLY DIAGRAMMATIC. ALL ITEMS REQUIRED TO MAKE THE SYSTEM COMPLETE AND IN SAFE WORKING ORDER SHALL BE PROVIDED. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES. EQUIPMENT SHOWN ON THE FLOOR PLANS AND ELEVATIONS ILLUSTRATE THE ARRANGEMENT AND SPACE ALLOCATIONS. THE CONTRACTOR SHALL VERIFY THE SPACE REQUIREMENTS FOR EACH SYSTEM COMPONENT USING MANUFACTURER CERTIFIED SHOP DRAWINGS AND MAKE THE NECESSARY ADJUSTMENTS IN EQUIPMENT PLACEMENT AND CONNECTION IN ORDER TO ACCOMMODATE THE EXACT EQUIPMENT TO BE INSTALLED.
2.	CONTRACTOR IS RESPONSIBLE FOR FILING/PAYING FOR PERMITS AND CERTIFICATES OF INSPECTION THAT PERTAIN TO WORK DONE BY CONTRACTOR. CONTRACTOR SHALL DELIVER COPIES OF ALL PERMITS AND CERTIFICATES OF INSPECTION TO OWNER/CONSTRUCTION MANAGER. CONTRACTOR SHALL DELIVER TO OWNER/CONSTRUCTION MANAGER ALL EQUIPMENT MANUALS (MAINTENANCE, INSTALLATION, USER, ETC.) FOR EQUIPMENT INSTALLED BY CONTRACTOR.
3.	CONTRACTOR SHALL PROVIDE JOB SPECIFIC SUBMITTALS ON ALL SCHEDULED EQUIPMENT AND ALL DEVICES, PANELS AND FIXTURES, INSTALLED UNDER THIS SCOPE OF WORK. SUBMITTALS SHALL INCLUDE BUT NOT BE LIMITED TO PRODUCT DATA, DIMENSIONED DRAWINGS, PERFORMANCE DATA, ELECTRICAL DATA, CERTIFICATIONS.
4.	THE ELECTRICAL SYSTEM SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ANY OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
5.	COORDINATE WORK WITH ALL OTHER TRADES AND DRAWINGS TO DETERMINE THE INTERFACE REQUIREMENTS NECESSARY TO PROPERLY INTEGRATE ALL MAJOR BUILDING SYSTEMS, MECHANICAL, PLUMBING, ELECTRICAL, FIRE ALARM, LOW VOLTAGE AND SPRINKLER SYSTEMS.
6.	THE ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO CONDUIT, WIRE, BOXES AND FITTINGS SHALL BE NEW AND SHALL MEET NEMA AND ANSI STANDARDS AND BEAR THE U.L. LABEL.
7.	ALL WORK AND MATERIALS SHALL BE GUARANTEED FREE FROM DEFECTS FOR A MINIMUM PERIOD OF ONE YEAR UNLESS NOTED OTHERWISE. THE WARRANTY PERIOD SHALL BEGIN AT THE DATE OF BENEFICIAL OCCUPANCY OF THE FACILITY.
8.	AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A COMPLETE SET OF AS-BUILTS, OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT AND SHALL INSTRUCT OWNER'S MAINTENANCE PERSONNEL ON ALL OPERATING PROCEDURES.
9.	ALL ROOF AND WALL PENETRATIONS MADE UNDER THIS SCOPE OF WORK SHALL BE MADE AND FLASHED BY THIS CONTRACTOR.
10.	ALL HANGERS, RODS, ANGLES, STRUT CHANNELS, ATTACHMENTS, ANCHORS, STRAPS, BOLTS, NUTS, WASHERS AND SCREWS SHALL BE GALVANIZED OR BE OF SIMILAR MATERIAL AS COMPONENT BEING SUPPORTED. ALL ALL-THREAD RODS SHALL HAVE EXCESS LENGTH CUT OFF TO A MAXIMUM LENGTH OF 1" ABOVE/BELOW ATTACHMENT.
11.	ELECTRICAL CONTRACTOR SHALL VERIFY METERING REQUIREMENTS AND SUPPLY SERVICE WITH UTILITY COMPANY.
12.	ALL WIRING DEVICES SHALL BE COMMERCIAL RATED FOR MINIMUM OF 20 AMPS.
13.	SURGE PROTECTION SHALL BE PER NEC.
14.	VERIFY LOCATION AND POWER REQUIREMENTS FOR ALL PLUMBING AND HVAC EQUIPMENT.
15.	PROVIDE POWER AND/OR 24 VAC TRANSFORMERS FOR ALL LOW-VOLTAGE SYSTEMS.
16.	TYPICAL MOUNTING HEIGHT OF 120V RECEPTACLES NOT LOCATED ABOVE COUNTERS SHALL BE 22" A.F.F. TO THE TOP OF BOX UNLESS NOTED OTHERWISE.
17.	TYPICAL MOUNTING HEIGHT FOR ALL SWITCHES AND THERMOSTATS SHALL BE 48" A.F.F. TO TOP OF BOX UNLESS NOTED OTHERWISE.
18.	ELECTRICAL CONTRACTOR SHALL VERIFY LOCATIONS OF ALL WALL CABINETS, KITCHEN TABLES AND EQUIPMENT IN ORDER TO LOCATE RECEPTACLES. SEE MILLWORK ELEVATIONS AND/OR VENDOR DRAWINGS.
19.	SEE MECHANICAL PLANS FOR THERMOSTAT LOCATIONS.
20.	PROVIDE PULL WIRE IN ALL EMPTY CONDUITS.
21.	FURNISH ALL NECESSARY SLEEVES, INSERTS AND GROUTING FOR ALL WORK PASSING THROUGH OR ATTACHING TO WALLS, FLOORS AND/OR CEILINGS.
22.	SEAL ALL CONDUITS AT TERMINATIONS THAT RUN BELOW THE SLAB TO MAKE THEM WATER TIGHT.
23.	ALL JUNCTION BOXES SHALL BE ACCESSIBLE FOR FUTURE SERVICE PER NEC. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES AND POINTS OF ACCESS.
24.	CONDUIT SHALL NOT BE ROUTED EXPOSED IN FINISHED AREAS UNLESS NOTED OTHERWISE.
25.	CONDUITS SHALL NOT BE INSTALLED HORIZONTALLY IN SLAB OR STRUCTURAL FOOTINGS.
26.	ALL CONDUITS BELOW GRADE SHALL BE PVC WITH RIGID STEEL LONG SWEEP ELBOWS.
27.	ALL BELOW GRADE GROUNDING CONNECTIONS SHALL BE EXOTHERMIC - NO EXCEPTIONS.
28.	A SEPARATE INSULATED GROUNDING CONDUCTOR SHALL BE PULLED WITH THE CIRCUIT CONDUCTORS FOR GROUNDING WHETHER OR NOT INDICATED ON THE DRAWINGS. METAL RACEWAY OR CABLE ARMOR OR SHEATH SHALL NOT BE USED AS AN EQUIPMENT GROUNDING CONDUCTOR.
29.	ALL NON-DEDICATED RECEPTACLES WITHIN 6' OF ANY PLUMBING FIXTURE AND/OR SINK SHALL BE EQUIPPED WITH GFI.
30.	ALL GFI RECEPTACLES SHALL BE CONNECTED SO THAT OTHER DEVICES ON THE SAME CIRCUIT AS GFI RECEPTACLES DO NOT DE-ENERGIZE UPON TRIPPING.
31.	PROVIDE DISCONNECTS FOR ALL MECHANICAL EQUIPMENT THAT IS NOT PROVIDED INTEGRAL TO THE EQUIPMENT.
32.	PROVIDE AND INSTALL RELAY TO SHUT DOWN POWER OF ALL AIR HANDLERS BY ACTIVATION OF ANY DUCT SMOKE DETECTOR AND FIRE ALARM SYSTEM. COORDINATE WITH MECHANICAL CONTRACTOR.
33.	ELECTRICAL CONTRACTOR SHALL VERIFY BREAKER REQUIREMENTS FOR ALL HVAC EQUIPMENT BEFORE ORDERING PANELS AND DISCONNECT SWITCHES.
34.	VERIFY EXACT POWER REQUIREMENTS, CONNECTION TYPE AND NEMA CONFIGURATION OF ALL OUTLETS REQUIRED FOR OWNER FURNISHED EQUIPMENT PRIOR TO ROUGH IN.
35.	ELECTRICAL CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTIONS TO ALL OWNER PROVIDED EQUIPMENT.
36.	ELECTRICAL CONTRACTOR SHALL INSTALL ALL LAMPS.
37.	ELECTRICAL CONTRACTOR SHALL PROVIDE ALL OUTLET BOXES FOR LOW VOLTAGE SYSTEMS AND SHALL STUB CONDUIT 12" ABOVE CEILING.
38.	ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT AND CABLE PENETRATIONS THROUGH FIRE RATED PARTITIONS.
39.	120V CIRCUITS GREATER THAN 50' BUT LESS THAN 100' BETWEEN BREAKER PANEL AND FIRST DEVICE SHALL BE WIRED WITH #10 AWG BETWEEN PANEL AND FIRST DEVICE.
40.	120V CIRCUITS GREATER THAN 100' BETWEEN BREAKER PANEL AND FIRST DEVICE SHALL BE WIRED WITH #8 AWG BETWEEN PANEL AND FIRST DEVICE.
41.	CONTRACTORS NEED TO MAKE SITE VISIT PRIOR TO BID. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS.
42.	ALL PANEL BOARDS AND LOAD CENTERS SHALL RECEIVE ENGRAVED NAME PLATES WITH PANEL DESIGNATION, VOLTAGE, PHASE, NUMBER OF WIRES AND A TYPED DIRECTORY FOR PANEL BRANCH CIRCUIT IDENTIFICATION.
43.	ALL PANEL BOARDS, LOAD CENTERS AND ASSOCIATED EQUIPMENT LOCATED OUTSIDE OF A CONDITIONED SPACE SHALL BE NEMA 3R.
44.	OCCUPANCY SENSOR LOCATIONS AND QUANTITIES SHOWN ON DRAWINGS ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL PROVIDE LIGHTING SYSTEM CONTROLS LAYOUT AS PER LIGHTING VENDOR TO ASSURE COMPLETE COVERAGE OF ALL AREAS. LIGHTING CONTROLS LAYOUT SHALL INCLUDE BUT NOT BE LIMITED TO LOCATIONS OF SWITCHES, OCCUPANCY SENSORS, OCCUPANCY SENSOR MANUAL BYPASS SWITCHES, VACANCY SENSORS AND LIGHTING FIXTURES. COORDINATE INSTALLATION WITH HVAC GRILLE LAYOUT.

ELECTRICAL LEGENDS AND SYMBOLS			
GENERAL			
	CIRCUIT BREAKER		LIGHTING CONTACTOR
	TRANSFORMER		SWITCHED POWER
	PANEL BOARD WITH PANEL NAME		CONTINUOUS POWER
	HOMERUN WITH PANEL BOARD CKT		
	NON-FUSED DISCONNECT SWITCH		
	FUSED DISCONNECT SWITCH		
	COMBINATION MOTOR STARTER W/ DISCONNECT SWITCH		
	MOTOR STARTER		
	JUNCTION BOX		
RECEPTACLES			
	DUPLEX		QUAD
	STANDARD 120V - 18\"/>		STANDARD 120V - 18\"/>
	208-240V - 18\"/>		STANDARD 120V - AC = ABOVE COUNTER
	STANDARD 120V - AC = BELOW COUNTER		EAVE = EAVE
			GFI = GROUND FAULT INTERRUPTER
			WP = WEATHERPROOF GFI
			XX" = MOUNTED AT XX" AFF
	FLOOR-MOUNTED STANDARD 120V		CEILING-MOUNTED STANDARD 120V
	DATA/TELEPHONE PORT -		INSTALL SINGLE GANG BOX 18" A.F.F. WITH 3/4" CONDUIT STUBBED 12" ABOVE CEILING; INSTALL PULL STRING
	FLOOR MOUNTED DATA PORT		CEILING MOUNTED DATA PORT
SWITCHES			
	SINGLE POLE SWITCH		SWITCH-DIMMER-VACANCY SENSOR, COMBINATION PIR/ULTRA SONIC, MANUAL ON/AUTOMATIC OFF
	3-WAY SWITCH		WALL OCCUPANCY SENSOR, COMBINATION PIR/ULTRA SONIC, AUTOMATIC ON/AUTOMATIC OFF, MANUAL OVERRIDE SWITCH
	4-WAY SWITCH		WALL/CEILING OCCUPANCY SENSOR, COMBINATION PIR/ULTRA SONIC, AUTOMATIC ON/OFF
	SWITCH-DIMMER		WALL/CEILING VACANCY SENSOR, COMBINATION PIR/ULTRA SONIC, AUTOMATIC OFF
	SWITCH-VACANCY SENSOR, COMBINATION PIR/ULTRA SONIC, MANUAL ON/AUTOMATIC OFF		PHOTOCELL

ELECTRICAL SHEET INDEX	
E0.0	ELECTRICAL LEGEND & GENERAL NOTES
E1.0	POWER PLAN
E1.1	ROOF ELECTRICAL PLAN
E2.0	LIGHTING PLAN

IMPORTANT INFORMATION	
SHOULD THE DRAWINGS OR SPECIFICATIONS CONFLICT WITHIN THEMSELVES, OR WITH EACH OTHER, THE REQUIREMENT WITH THE GREATEST QUANTITY AND/OR THE HIGHEST QUALITY SHALL PREVAIL. THE DECISION OF THE ENGINEER OF RECORD FOR THE SYSTEM BEING INSTALLED SHALL BE FINAL.	
ALL WRITTEN NOTES ON THIS SHEET AND ALL OTHER SHEETS CONTAINED IN THESE PLANS SHALL BE READ AND UNDERSTOOD BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO COORDINATE WITH EACH OTHER TO DELIVER COMPLETE, FUNCTIONING SYSTEMS AS SHOWN IN THESE PLANS.	



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KILGORE, TX 75662

NO.	REVISION	DATE
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ELECTRICAL LEGEND & GENERAL NOTES
 ISSUED FOR BIDDING

DATE	SCALE	SHEET NO.
07/22/2022	12" = 1'-0"	1

Panel Name: LV2

Location: JAN. 105
 Mounting: SURFACE
 Enclosure: NEMA 1

Volts: 120/208 Wye
 Phases: 3
 Wires: 4
 Main: 100 A MLO

CKT	Circuit Description	Trip	Trip	Circuit Description	CKT
1	RCPT BATH 101	20 A	20 A	RCPT BATH 108	2
3	RCPT BATH 102	20 A	20 A	RCPT BATH 109	4
5	RCPT BATH 103	20 A	20 A	LIGHTS	6
7	RCPT BATH 104	20 A			8
9	RCPT BATH 106	20 A			10
11	RCPT BATH 107	20 A			12

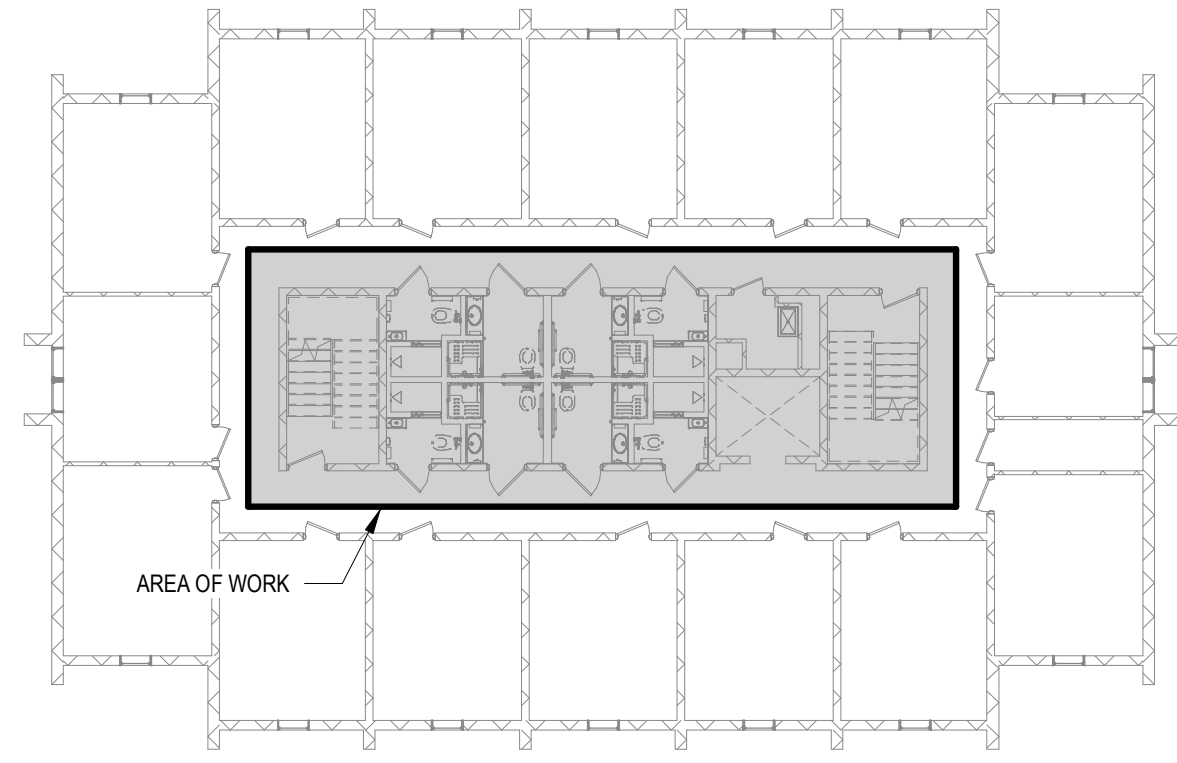
* PANEL DESIGNATION IS UNIQUE FOR EACH FLOOR. FLOORS 2 THRU 8 WILL EACH HAVE A NEW PANEL SIMILAR TO THIS. 2ND FLOOR = LV2, 3RD FLOOR = LV3, 4TH FLOOR = LV4, ETC

Panel Name: LVDP

Location: JAN 30
 Mounting: SURFACE
 Enclosure: NEMA 1

Volts: 120/208 Wye
 Phases: 3
 Wires: 4
 Main: 225 A MLO

CKT	Circuit Description	Trip	Trip	Circuit Description	CKT
1,3,5	LV2	60 A	60 A	LV6	2,4,6
7,9,11	LV3	60 A	60 A	LV7	8,10,12
13,15,17	LV4	60 A	60 A	LV8	14,16,18
19,21,23	LV5	60 A			20
					22
					24



2 2nd THRU 8th FLOOR - KEY PLAN
 SCALE: 1/16" = 1'-0"

- POWER NOTES**
- REFER TO E0.0 FOR GENERAL NOTES AND LEGEND.
 - COORDINATE ALL WORK WITH MECHANICAL SYSTEMS, ROUTING CONDUIT AS HIGH AS POSSIBLE.
 - REFER TO MECHANICAL CONTRACTOR FOR EXACT LOCATIONS OF EQUIPMENT.
 - CONTRACTOR SHALL VERIFY ALL POWER REQUIREMENT OF EQUIPMENT BEFORE INSTALLATION OF CONDUIT, BREAKER OR WIRING.

- TAG NOTES**
- FURNISH & INSTALL NEW 120/208V 3PH PANEL.
 - FURNISH & INSTALL NEW 225A/3P BREAKER IN EXISTING MSB TO FEED NEW PANEL LVDP. IF BREAKER NOT AVAILABLE FROM SQUARE D, FURNISH AND INSTALL NEW 225A/3P ECB AND FEED FROM LINE SIDE OF MSB. TAP CONDUCTOR MUST BE 1" OR LESS. ECB SHALL HAVE SAME VOLTAGE & FAULT CURRENT RATINGS AS EXISTING MSB. REFER TO TAG NOTE 'C' FOR ECB LOCATION.
 - ECB FOR ALTERNATE CONDITION. SEE NOTE 'B'.

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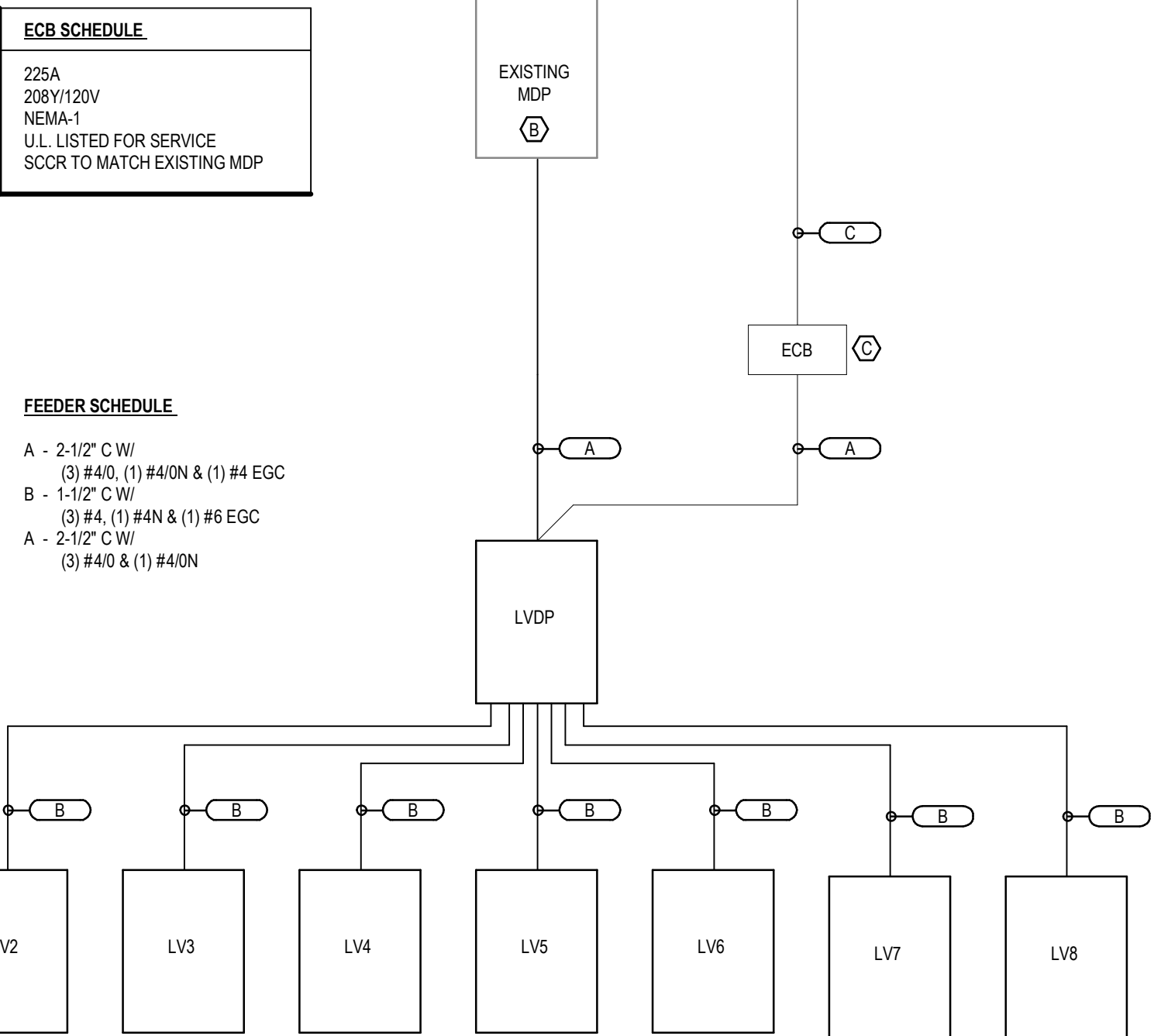
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0	ISSUED FOR PERMIT	06/29/22
1	ISSUED FOR BIDDING	07/22/2022

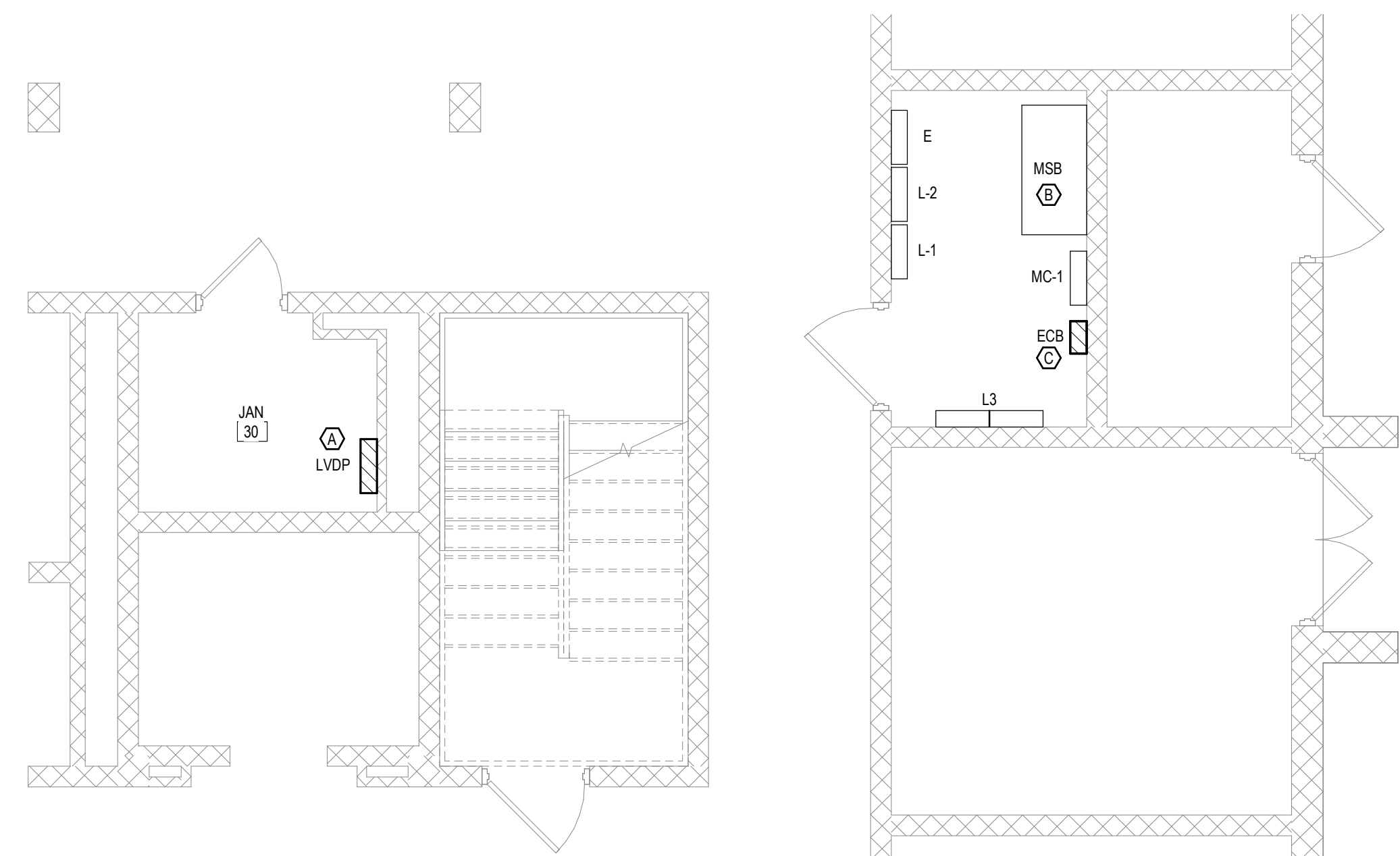
POWER PLAN
 ISSUED FOR BIDDING

DATE	07/22/2022
BY	GW
CHECKED BY	WJ
APPROVED BY	WJ
SCALE	As Indicated
SHEET NO.	1
REVISION NO.	1

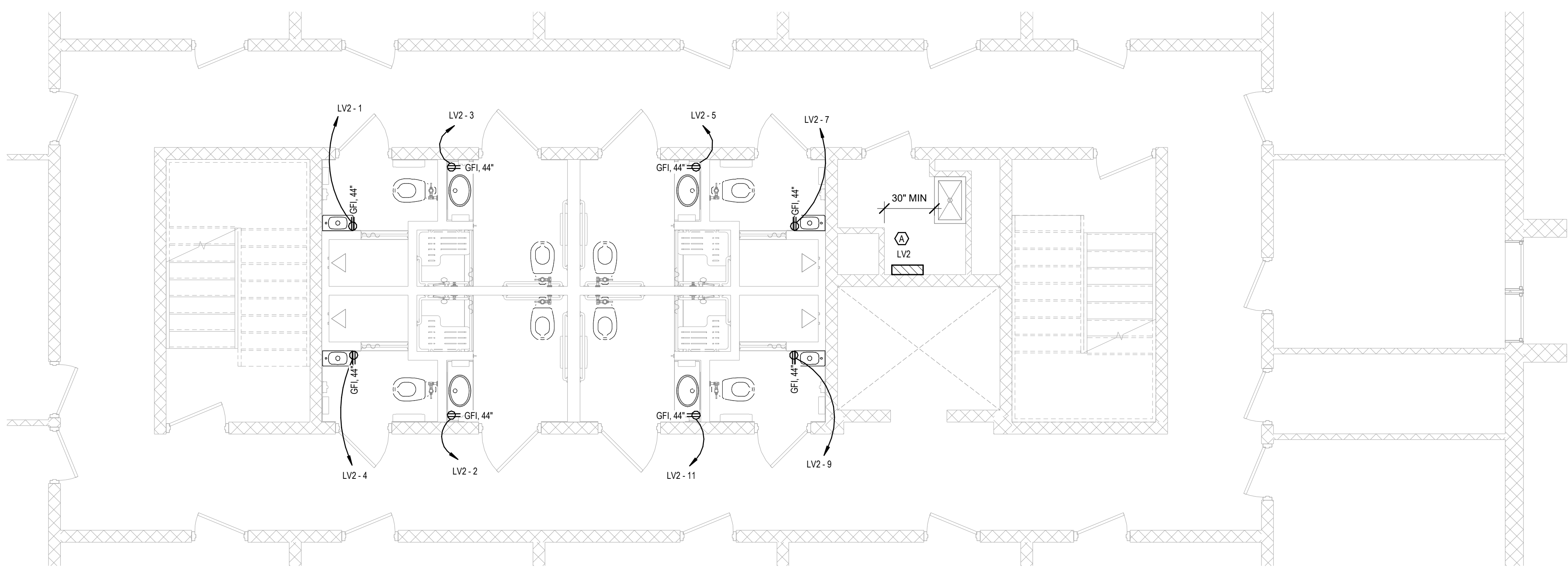
WJ ENGINEERING INC.
 Firm No. 9968
 903-762-6599
 walt@wjengineering.com
 7674 Cherokee Trace
 Gilmer, Texas 75644



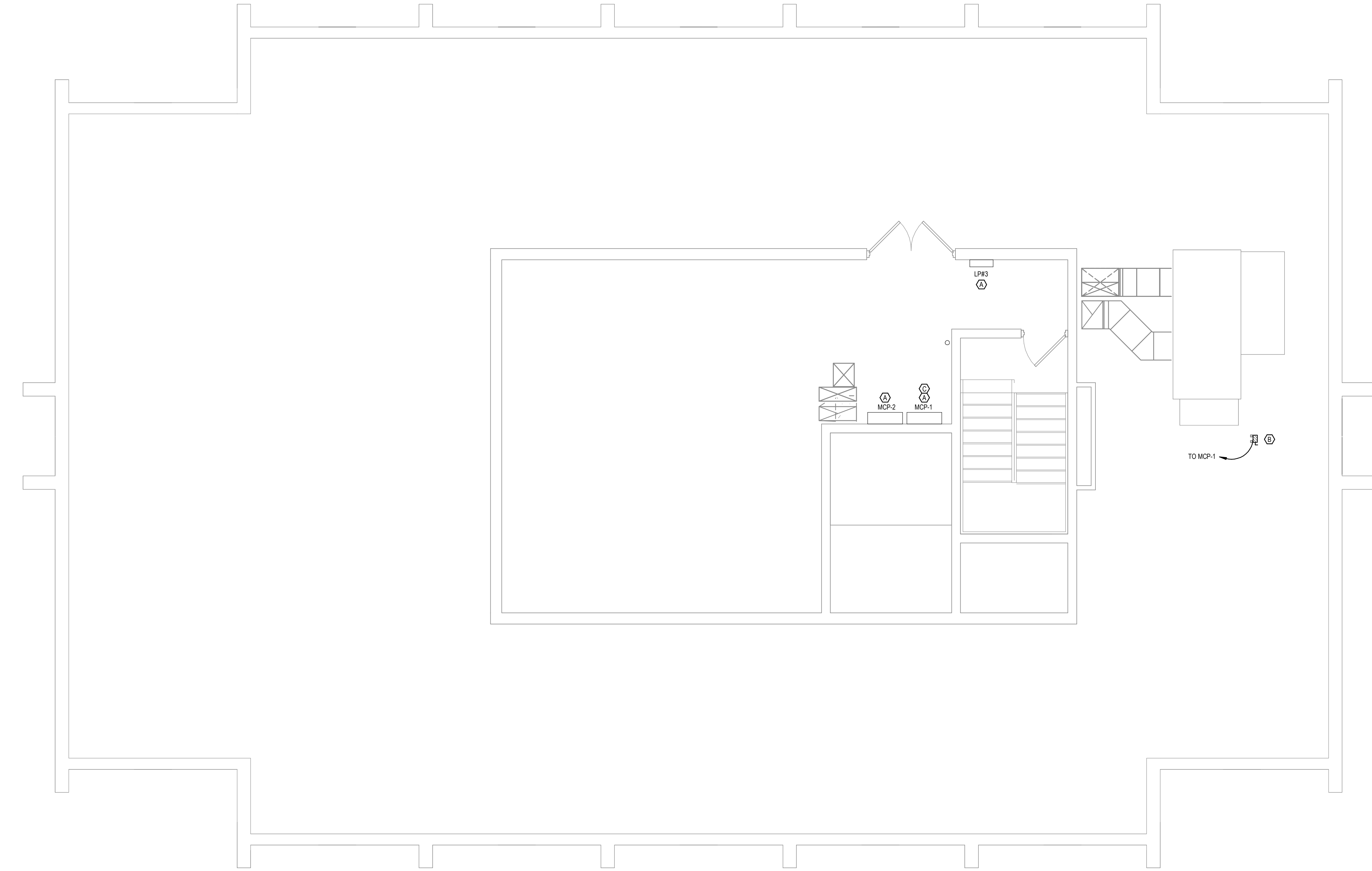
4 ONE-LINE DIAGRAM
 SCALE: NTS



3 1st FLOOR MAIN ELECTRICAL ROOM
 SCALE: 1/4" = 1'-0"



1 2nd FLOOR - ELECTRICAL
 SCALE: 1/4" = 1'-0"



1 ROOF ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

POWER NOTES

- REFER TO E0.0 FOR GENERAL NOTES AND LEGEND.
- COORDINATE ALL WORK WITH MECHANICAL SYSTEMS, ROUTING CONDUIT AS HIGH AS POSSIBLE.
- REFER TO MECHANICAL CONTRACTOR FOR EXACT LOCATIONS OF EQUIPMENT.
- CONTRACTOR SHALL VERIFY ALL POWER REQUIREMENT OF EQUIPMENT BEFORE INSTALLATION OF CONDUIT, BREAKER OR WIRING.

TAG NOTES

- EXISTING 120/208V 3PH ELECTRICAL PANEL TO REMAIN
- FURNISH & INSTALL NEW 208V 3PH DISCONNECT TO SERVE DOAU-1. MOUNTED ON UNISTRUT RACK. COORDINATE WITH MECHANICAL CONTRACTOR FOR COMPLETE INSTALLATION.
- FURNISH & INSTALL NEW 175A/3P BREAKER IN EXISTING PANEL MCP-1 TO SERVE POWER TO NEW DEDICATED OUTDOOR AIR UNIT (DOAU-1). COORDINATE WITH MECHANICAL CONTRACTOR.

WJ ENGINEERING INC.
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 903-762-6599
 walt@wjengineering.com
 7674 Cherokee Trace
 Gilmer, Texas 75644

DATE	07/22/2022
BY	GW
SCALE	1/4" = 1'-0"
REVISION NO.	1
SHEET NO.	E1.1

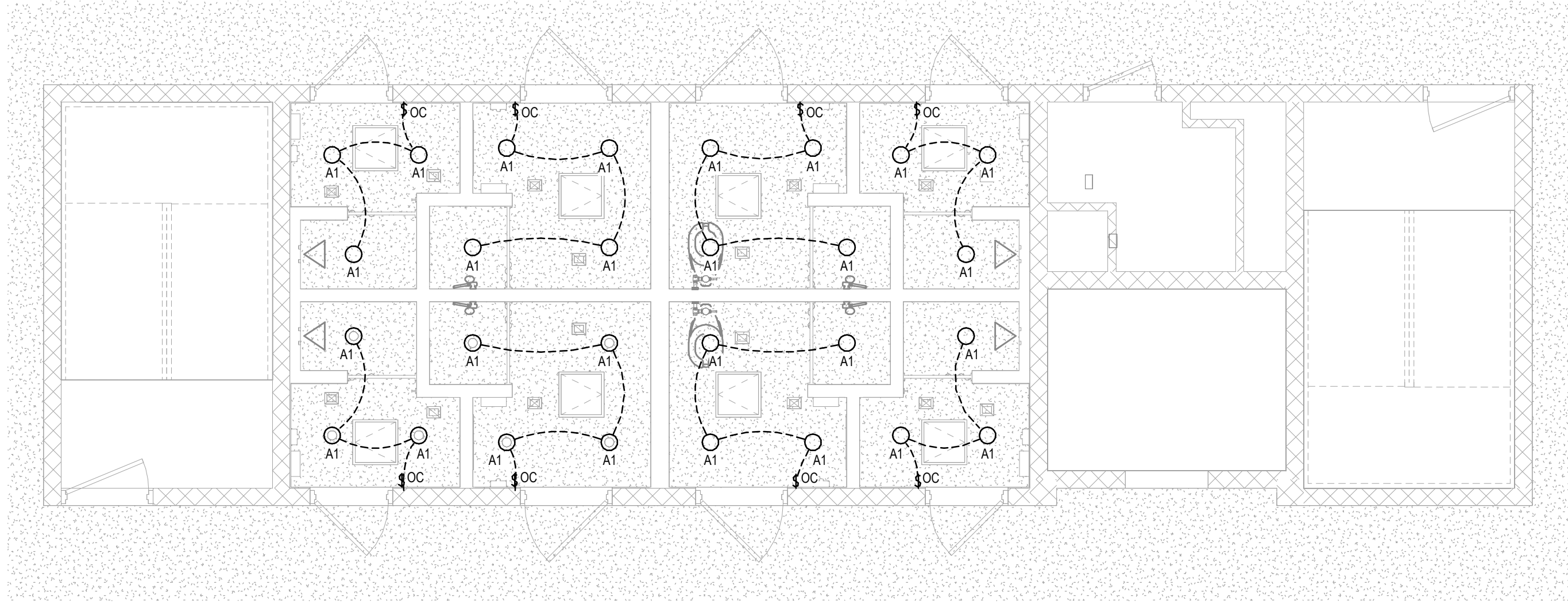
ROOF ELECTRICAL PLAN
 ISSUED FOR BIDDING

NO.	REVISION	DATE
0	ISSUED FOR PERMIT	06/29/22
1	ISSUED FOR BIDDING	07/22/2022

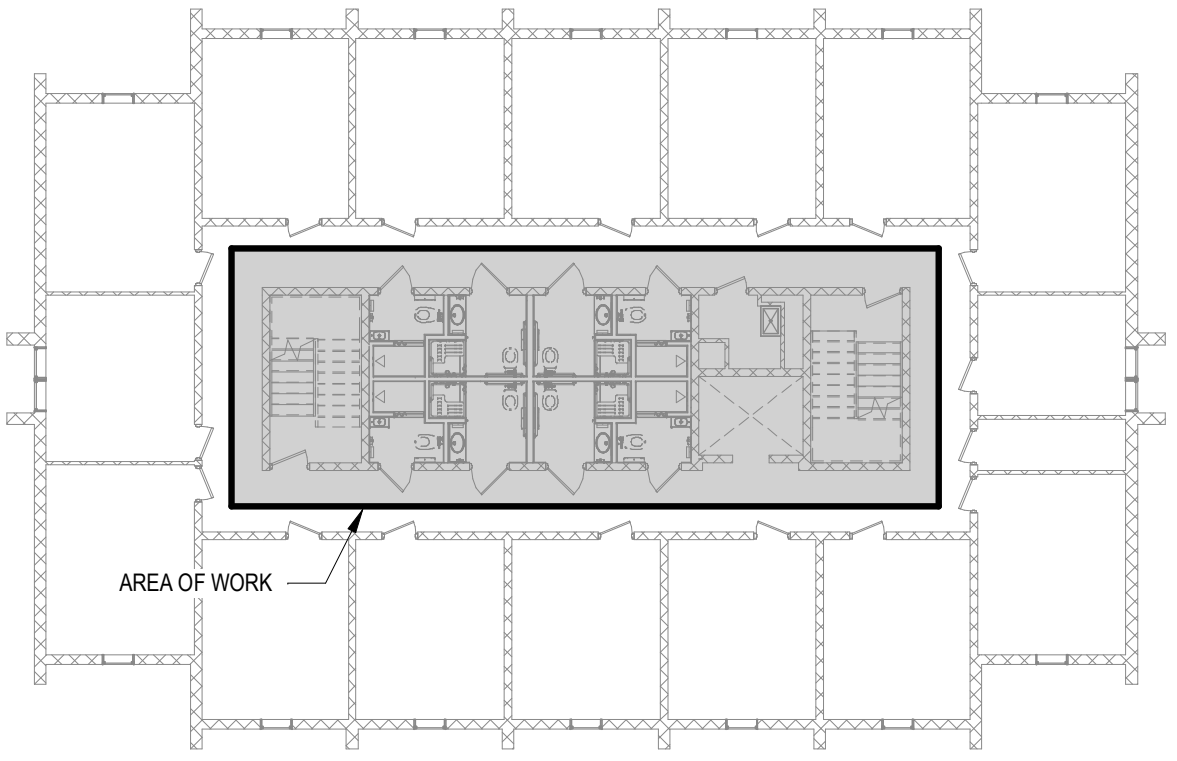
KILGORE COLLEGE
STARK HALL R.R. RENOVATION
 607 ELDER STREET
 KILGORE, TX 75662

JOHNSON & PACE INCORPORATED
 ENGINEERING ARCHITECTURE SURVEYING
 7674 CHEROKEE TRACE
 GILMER, TEXAS 75644
 (903) 762-6599 FAX (903) 762-6500
 WWW.JOHNSONANDPACE.COM
 DATE: 6/29/2022

LIGHT FIXTURE SCHEDULE					
MARK	VOLTS	LAMPS	MANUFACTURER	MODEL	DESCRIPTION
A1	120 V	LED	LIGHTOUER	S7R-8-40K-10	7" DIA. LED SURFACE MOUNTED LUMINAIRE WITH THE APPEARANCE OF A RECESSED DOWNLIGHT.



1 2nd THRU 8th FLOOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



2 2nd THRU 8th FLOOR - KEY PLAN
 SCALE: 1/16" = 1'-0"

LIGHTING NOTES	
1	REFER TO E0.0 FOR GENERAL NOTES & LEGEND.
2	COORDINATE FIXTURE LAYOUT WITH CEILING GRID, HVAC DEVICES, AND COMMUNICATION / SECURITY DEVICES.
3	COORDINATE FINAL FIXTURE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

LIGHTING CIRCUITS	
LV2-6	- LIGHTS IN 2nd FLOOR RESTROOMS
LV3-6	- LIGHTS IN 3rd FLOOR RESTROOMS
LV4-6	- LIGHTS IN 4th FLOOR RESTROOMS
LV5-6	- LIGHTS IN 5th FLOOR RESTROOMS
LV6-6	- LIGHTS IN 6th FLOOR RESTROOMS
LV7-6	- LIGHTS IN 7th FLOOR RESTROOMS
LV8-6	- LIGHTS IN 8th FLOOR RESTROOMS



DATE	07/22/2022
BY	WJL
SCALE	As Indicated
SHEET NO.	E2.0
REVISION NO.	1

REVISIONS	
NO.	DESCRIPTION
0	ISSUED FOR PERMIT
1	ISSUED FOR BIDDING

DATE	06/29/22
BY	GMF
SCALE	
SHEET NO.	
REVISION NO.	

KILGORE COLLEGE
STARK HALL R.R. RENOVATION
607 ELDER STREET
KILGORE, TX 75662

JOHNSON & PACE INCORPORATED
 ENGINEERING - ARCHITECTURE - SURVEYING
 10000 W. STATE ST. SUITE 100
 DALLAS, TEXAS 75241
 (972) 336-8888 FAX (972) 336-8883
 www.jp-engineering.com
 07/22/2022

Appendix B
IFB#2021-STARK008 - Stark Residence Hall Renovation

COMPETITIVE BIDDING FORM

1.1 BID INFORMATION

- A. Bidder: _____
- B. Designated Contact for Bidder: _____
- C. Designated Contact's Phone Number: _____
- D. Project Name: Stark Residence Hall Renovation
- E. Project Location: Kilgore College, Stark Hall, 607 Elder Street, Kilgore, TX 75662
- F. Owner: Kilgore College
- G. Architect: Johnson & Pace, Inc.

1.2 BASE BID

- A. The undersigned, having carefully examined the Invitation for Bid Requirements, Conditions of the Contract, Drawings, Specifications, as prepared by Johnson & Pace, Inc., and all subsequent Addenda, having visited the site, and being familiar with all conditions and requirements of the work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Invitation for Bid Documents, for the stipulated sum of:

1. _____ Dollars (\$_____).

1.3 ALTERNATES

Bid costs (amount to be added to Base Bid) for each project alternative as described in Appendix B – Schedule A of this IFB document.

- 1. Alternative 1 – Reglaze Windows: _____
- 2. Alternative 2 – Paint Building Interior _____
- 3. Alternative 3 – Hallway Floors _____
- 4. Alternative 4 – Repair Stair Treads _____
- 5. Alternative 5 – Replace Hallway Lighting _____
- 6. Alternative 6 – New Ceiling Fans _____
- 7. Alternative 7 – Lobby Restroom Finishes _____

1.4 TIME OF COMPLETION

- A. If awarded this contract, the Undersigned hereby agrees to execute the work as follows:
 - 1. Work can begin December 10, 2022, and be completed by _____ (Insert date).

- B. For those materials requiring protection from the elements, contractor shall make necessary provisions for storage on the jobsite. Owner may be able to provide storage facilities off site to be determined. Materials shall be appropriately insured during storage by contractor.
- C. It is imperative that the contractor make efficient use of his time and workers, in the progress of the work to meet the completion dates listed above.

1.5 EXTRA WORK

- A. If extra work is ordered by the Owner, the Undersigned agrees to perform each work for net cost of all materials and labor furnished plus _____% for overhead and profit.

1.6 SUBCONTRACTORS AND SUPPLIES

- A. The following companies shall execute subcontractors for the portions of the work indicated:
 1. Demolition Work: _____
 2. Tile Work: _____
 3. Interior Finishes Work: _____
 4. Mechanical Work: _____
 5. Plumbing Work: _____
 6. Electrical Work: _____

1.7 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Gregg County, Texas, and that all fees, permits, etc., pursuant to submitting the bid have been paid in full.

1.8 PROPOSER INFORMATION

- A. The undersigned confirms inclusion of information documenting how proposer meets the selection criteria.
 1. Cost for Services – listed in sections 1.2 and 1.3 above.
 2. Qualification and Reputation of the Bidder – please attach a description of bidder's leadership team and the education/experience of those individuals who would be involved in this project. Include at least three (3) references for construction/renovation projects that have been completed within the past two (2) years.
 3. Past Relationship with the College and/or design team – please attach a description of previous projects completed for the College and/or experience in working with Johnson & Pace, Inc. on renovation projects.
 4. Specific experience in the scope of the proposed project – please attach a description of experience in building/renovating projects that are substantially similar to this project and include at least three additional (3) references for substantially similar projects.

1.9 BID ACCEPTANCE

- A. Firm Name: _____
- B. Address: _____

C. Phone/Fax: _____

D. Authorized Signature: _____

E. Title: _____

F. Date: _____

Appendix B - Schedule A

ALLOWANCES, ALTERNATES

1.1 DEFINITIONS

- A. Unit price is an amount incorporated in the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.
- B. Alternate: An amount proposed by proposers and stated on the IFB Form for certain work defined in the requirements that may be added to or deducted from the base proposal amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.
- C. Schedule of Values: A statement furnished by Contractor allocating portions of the Contract Sum to various portions of the Work and used as the basis for reviewing Contractor's Applications for Payment.

1.2 UNIT PRICES:

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- B. Take measurements and compute quantities. Architect/Engineer will verify measurement/ quantities
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: If required a schedule of unit prices is included on the IFB Form.
- E. Final payment for Work governed by unit prices will be made on basis of actual measurements and quantities accepted by Architect multiplied by unit sum/price for Work incorporated in or made necessary by the Work.

1.3 ALTERNATES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other work of the Contract.

- C. Schedule:
 - 1. Alternate #1 –

1.4 CHANGE PROCEDURES

- A. The Conditions of the Contract states that the Owner may order changes in the Work within the general scope of the Contract, consisting of additions, deletions or other revisions. If such revisions cause an increase or decrease in the Construction Managers or a Contractor's cost or time required for performance of the contract, an equitable adjustment may be made and confirmed in writing in the form of a Contract Change
- B. Architect will issue through the Construction manager or General Contractor supplemental instructions authorizing minor changes in the Work, not involving adjustment to the Contract Sum or the Contract Time.
- C. Owner-Initiated Proposal Requests: Architect will issue a detailed description of proposed changes in the Work that may require adjustment to the Contract Sum or the Contract Time. If necessary, the description will include supplemental or revised Drawings and Specifications.
 - 1. Work Change Proposal Requests issued by Architect are not instructions either to stop work in progress or to execute the proposed change.
 - 2. Within 14 days, when not otherwise specified, after receipt of Proposal Request, submit a quotation estimating cost adjustments to the Contract Sum and the Contract Time necessary to execute the change.
- D. Contractor-Initiated Proposals: If latent or changed conditions require modifications to the Contract, Construction Manager or General Contractor may initiate a claim by submitting a request for a change to Architect.
 - 1. Include a statement outlining reasons for the change and the effect of the change on the Work. Provide a complete description of the proposed change. Indicate the effect of the proposed change on the Contract Sum and the Contract Time.
- E. On Owner's approval of a work Changes Proposal Request, Architect will issue a Change Order for signatures of Owner and Construction Manager/ General Contractor on AIA Document G701
- F. Work Change Directive: Architect may issue a Work Change Directive on AIA G714. Change Directive instructs Construction Manager / General Contractor to proceed with change in the Work, for inclusion in a future Change Order.
 - 1. Work Change Directive contains a complete description of change in the Work. It also designates method to be followed to determine change in the Contract Sum or Contract Time.
 - 2. Documentation: Maintain detailed records on a time and material basis of work required by the Work Change Directive.

1.5 SCHEDULE OF VALUES

- A. The Construction Manager / General Contractor will submit a printed schedule on AIA Form G702 and G703. All contractors to coordinate and support the completion of this information by the CM /GC Coordination:
- B. Submit Schedule of Values within 14 days after the Contractor Agreement or upon Notification to Proceed.
 - 1. Provide a breakdown of the Contract Sum in enough detail to facilitate continued evaluation of

Applications for Payment and progress reports. Coordinate with Project Manual table of contents. Provide multiple line items for principal subcontract amounts in excess of five percent of the Contract Sum.

2. Round amounts to nearest whole dollar; total shall equal the Contract Sum.
3. Provide a separate line item in the schedule of values for each part of the Work where Applications for Payment may include materials or equipment purchased or fabricated and stored, but not yet installed.
 - a. Differentiate between items stored on-site and items stored off-site. If required, include evidence of insurance.
4. Sub-schedules for Phased Work: Where the work is separated into phases requiring separately phased payments, breakdown schedules showing values associated with each phase
5. Allowances: Provide a separate line item in the schedule of values for each allowance. Show line-item value of unit-cost allowances, as a product of the unit cost, multiplied by measured quantity. Use information indicated in the Contract Documents to determine quantities.
6. Schedule Updating: Update and resubmit the schedule of values before the next Applications for Payment when Change Orders or Construction Change Directives result in a change in the Contract Sum.
7. Forms filled out by hand will not be accepted.
8. Electronic media printout including equivalent information will be considered in lieu of standard form specified: If reviewed and approved by Architect.

APPENDIX C
ADDENDA CHECKLIST

Bid of: _____
(Bidding Company's Name)

To: Kilgore College
Ref.: Stark Hall Building Renovation
IFB No.: 2021-STARK008

Ladies and Gentlemen:
The undersigned bidder hereby acknowledges receipt of the following Addenda to the captioned IFB (initial for each if applicable).

It is the bidder's responsibility to make sure they have obtained all addenda. Addenda, if any, will be posted on KC's website at <https://www.kilgore.edu/about/offices/procurement-services>

No. 1 _____ No. 2 _____ No. 3 _____ No. 4 _____ No. 5 _____

If no Addenda's available initial here. _____

Respectfully submitted,

Bidder: _____

By: _____
(Authorized Signature for Bidder)

Printed Name: _____

Title: _____

Date: _____

APPENDIX D
EXECUTION OF OFFER

By signature hereon, bidder offers and agrees to furnish to Kilgore College the products and/or services more particularly described in its bid, at the prices quoted in the bid, and to comply with all terms, conditions and requirements set forth in the IFB documents and contained herein.

By signature hereon, bidder affirms that she/he has not given, nor intends to give at any time hereafter, any economic opportunity, future employment, gift, loan, gratuity, special discount, trip, favor or service to a public servant in connection with the submitted proposal.

By signature hereon, bidder certifies that the individual signing this document and the documents made part of the IFB is authorized to sign such documents on behalf of the company and to bind the company under any agreements or other contractual arrangements which may result from the submission of bidder's bid.

By signature hereon, bidder affirms that no compensation has been received for participation in the preparation of the specifications for this IFB. (ref. Section 2155.004 *Texas Government Code*).

Bidder represents and warrants that all articles and services quoted in response to this IFB meet or exceed the safety standards established and promulgated under the Federal Occupational Safety and Health Law (Public Law 91-596) and its regulations in effect or proposed as of the date of this solicitation.

By signature hereon, bidder signifies her/his compliance with all federal laws and regulations pertaining to Equal Employment Opportunities and Affirmative Action.

By signature hereon, bidder agrees to defend, indemnify, and hold harmless KC, all of its board members, agents and employees from and against all claims, actions, suits, demands, proceedings, costs and expenses (including reasonable attorneys' fees and court costs), damages, and liabilities, arising out of, connected with, or resulting from any negligent or willful acts or omissions of bidder or any agent, employee, subcontractor, or supplier of bidder in the execution or performance of any agreements or other contractual arrangements which may result from the submission of bidder's bid.

By signature hereon, bidder agrees to abide by and fully comply with KC's smoking policy. Bidder understands that this applies to the project at issue and bidder agrees that all persons working under or for bidder will abide by this policy in all respects.

Bidder: _____ EIN No: _____

Address: _____

Telephone: _____ Email: _____

Office Name & Title (printed) _____

Officer Signature: _____ Date: _____